

Trailhead Apartments

1550 Newport Way NW

Issaquah, WA 98027

Survey Notes

We are in the process of having the topographical survey of the site updated. We are providing the current survey for reference only.

The following items of note will be included in the survey update:

- The site address is 1550 Newport Way NW, not 1505 Newport Way NW
- The eastern property line is marked as the property line per Short Plat No. SP-79-12, Rec. No. 8001020405
- The western property line is marked as the property line per Short Plat No. SP-79-12, Rec. No. 8001020405
- The current wetland delineation is not accurately depicted on the map
- The small buildings labeled “existing building,” with ramp and deck, and “shed” have been removed

NE 1/4 OF THE NE 1/4, SEC. 29, TWP. 24 N., RGE. 6 E., W.M.

HORIZONTAL DATUM NAD 83/2011

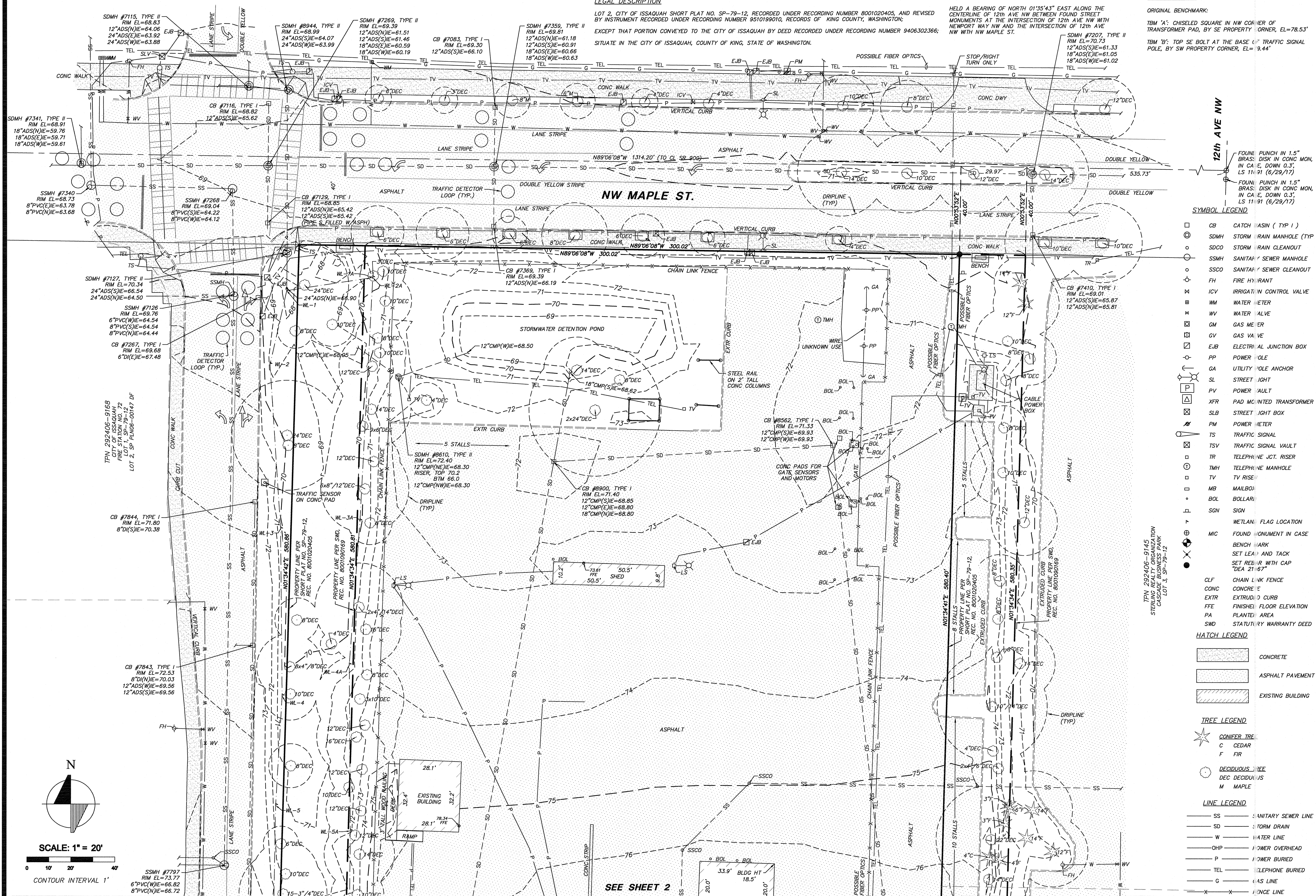
VERTICAL DATUM NAVD 83

LEGAL DESCRIPTION

LOT 2, CITY OF ISSAQUAH SHORT PLAT NO. SP-79-12, RECORDED UNDER RECORDING NUMBER 800120405, AND REVISED BY INSTRUMENT RECORDED UNDER RECORDING NUMBER 9510199010, RECORDS OF KING COUNTY, WASHINGTON; EXCEPT THAT PORTION CONVEYED TO THE CITY OF ISSAQUAH BY DEED RECORDED UNDER RECORDING NUMBER 9406302366; SITUATE IN THE CITY OF ISSAQUAH, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

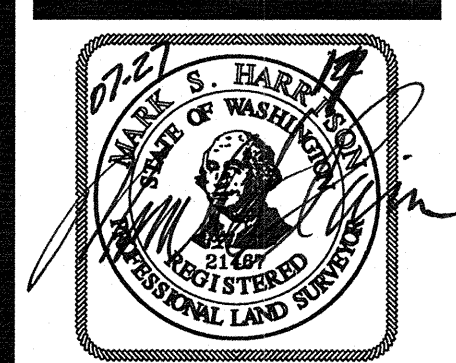
HELD A BEARING OF NORTH 01°35'43" EAST ALONG THE CENTERLINE OF 12th AVE NW BETWEEN FOURTH STREET MONUMENTS AT THE INTERSECTION OF 12th AVE NW WITH NEWPORT WAY NW AND THE INTERSECTION OF 12th AVE NW WITH NW MAPLE ST.



- SYMBOL LEGEND**
- CB CATCH BASIN (TYP I)
 - SDMH STORM DRAIN MANHOLE (TYP II)
 - SDCO STORM DRAIN CLEANOUT
 - SSMH SANITARY SEWER MANHOLE
 - SSCO SANITARY SEWER CLEANOUT
 - FH FIRE HYDRANT
 - ICV IRRIGATION CONTROL VALVE
 - WM WATER METER
 - WV WATER VALVE
 - GM GAS METER
 - GV GAS VALVE
 - EJB ELECTRICAL JUNCTION BOX
 - PP POWER POLE
 - GA UTILITY POLE ANCHOR
 - SL STREET LIGHT
 - PV POWER VAULT
 - XFR PAD MOUNTED TRANSFORMER
 - SLB STREET LIGHT BOX
 - PM POWER METER
 - TS TRAFFIC SIGNAL
 - TSV TRAFFIC SIGNAL VAULT
 - TR TELEPHONE JCT. RISER
 - TMH TELEPHONE MANHOLE
 - TV TV RISER
 - MB MAILBOX
 - BOL BOLLARD
 - SGN SIGN
 - WETLAND FLAG LOCATION
 - MIC FOUND MONUMENT IN CASE BENCH MARK SET LEAN AND TACK SET REAR WITH CAP "DEA 21167"
 - CLF CHAIN LINK FENCE
 - CONC CONCRETE
 - EXTR EXTRUDED CURB
 - FFE FINISHED FLOOR ELEVATION
 - PA PLANTED AREA
 - SWD STATUTORY WARRANTY DEED
- HATCH LEGEND**
- CONCRETE
 - ASPHALT PAVEMENT
 - EXISTING BUILDING
- TREE LEGEND**
- CONIFER TREE
 - C CEDAR
 - F FIR
 - DECIDUOUS TREE
 - DEC DECIDUOUS
 - M MAPLE
- LINE LEGEND**
- SS SANITARY SEWER LINE
 - SD STORM DRAIN
 - W WATER LINE
 - OHP POWER OVERHEAD
 - P POWER BURIED
 - TEL TELEPHONE BURIED
 - G GAS LINE
 - FENCE LINE

TOPOGRAPHIC SURVEY FOR
KING COUNTY HOUSING AUTHORITY
1505 NEWPORT WAY NW
 SPECTRUM DEVELOPMENT SOLUTIONS
 WASHINGTON
 CITY OF ISSAQUAH

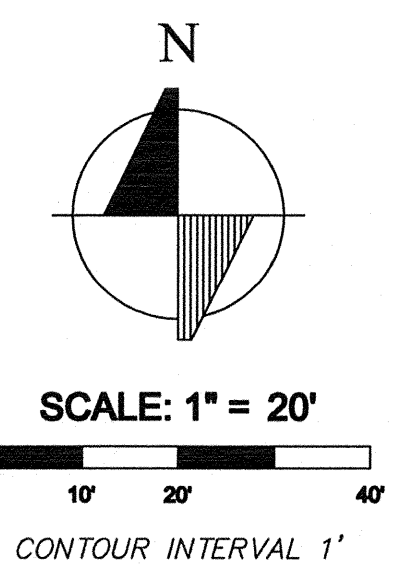
REVIEWED BY: _____ DATE: _____
 NO. _____ DATE: _____
 DISIGNED: _____



STAMP NOT VALID UNLESS SIGNED AND DATED
 FIRST SUBMITTAL DATE: 7/27/17
 SCALE: HORIZ.: 1"=20' VERT.: _____

PROJECT NO.
KCHA00006045
 SHEET NO.
1
 OF **2**

Plot Date: 7/27/2017 4:10 PM
 Save Date: 7/27/2017 4:02 PM
 By: Charles Cornwall
 File: P:\KCHA00006045\0400CAD\DWG\SS\TP-KCHA00006045.dwg

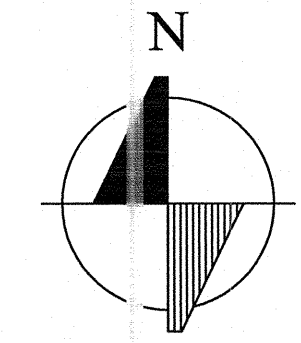


SEE SHEET 2

51-TP-KCHA00006045

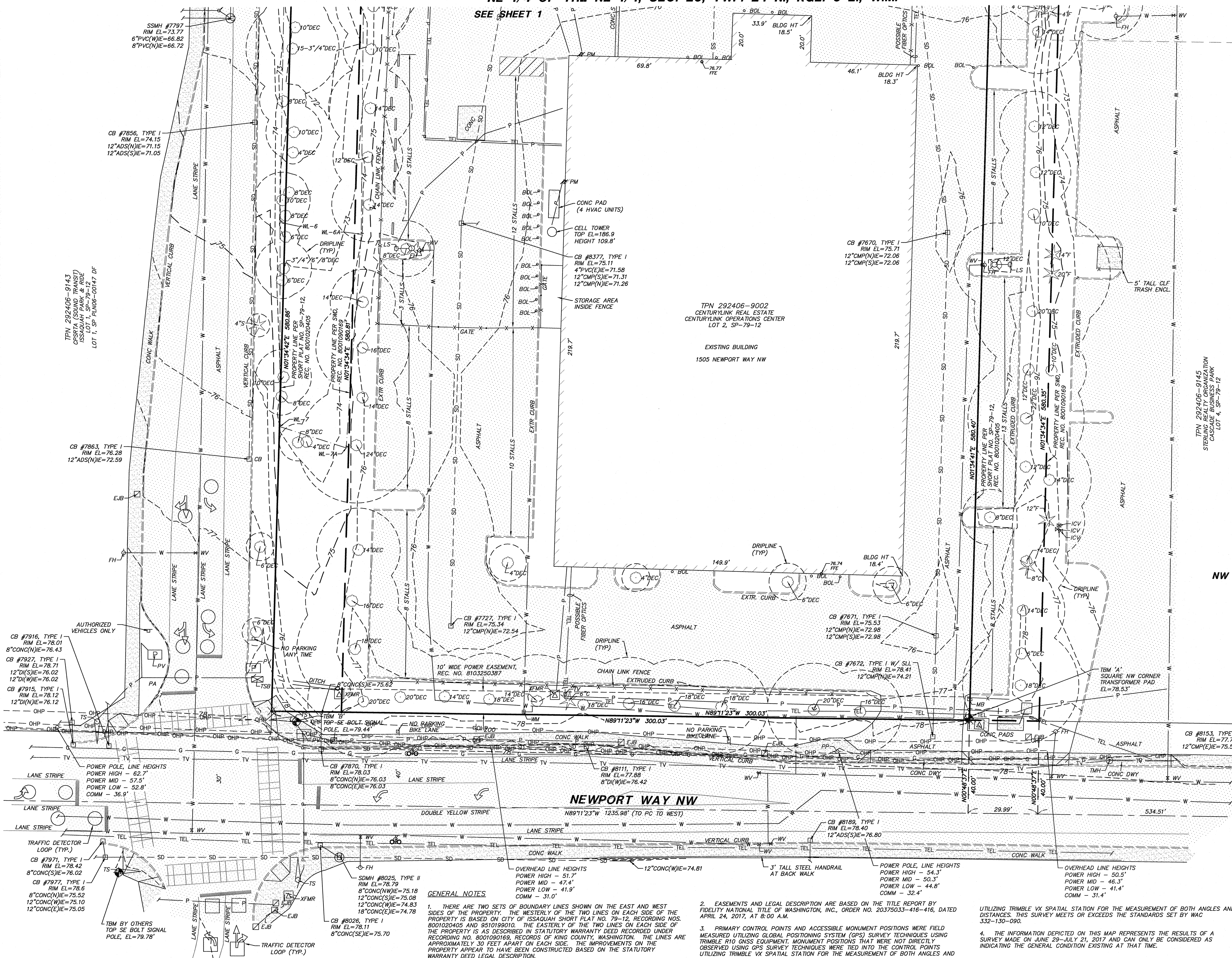
NE 1/4 OF THE NE 1/4, SEC. 29, TWP. 24 N., RGE. 6 E., W.M.

SEE SHEET 1



SCALE: 1" = 20'

CONTOUR INTERVAL 1'



TPN 292406-9002
CENTURYLINK REAL ESTATE
CENTURYLINK OPERATIONS CENTER
LOT 2, SP-79-12

EXISTING BUILDING
1505 NEWPORT WAY NW

GENERAL NOTES (CONTINUED)

- UTILITY LOCATIONS SHOWN ON THIS SURVEY DRAWING ARE BASED UPON FIELD LOCATION OF EXISTING UTILITY STRUCTURES, FIELD LOCATION OF CONDUCTIBLE UNDERGROUND UTILITIES BASED ON PAINT MARKS OR OTHER MARKINGS ESTABLISHED BY A UTILITY LOCATE SERVICE AND UTILITY LOCATIONS BASED ON UTILITY MAPS PROVIDED BY UTILITY PURVEYORS. OTHER UNDERGROUND UTILITIES MAY EXIST. NO SUB-SURFACE EXPLORATION WAS DONE TO VERIFY UTILITY ROUTINGS. THE ROUTING OF ALL BURIED UTILITIES SHOULD BE CONFIRMED WITH THE UTILITY PURVEYOR AND EXPOSED IN AREAS CRITICAL TO DESIGN.
- WETLANDS WERE DELINEATED ON THE WEST SIDE OF THE SUBJECT PROPERTY BY DAVID EVANS AND ASSOCIATES ON JULY 5, 2017.

NW MAPLE ST.
FOUND PUNCH IN 1.5" BRASS DISK IN CONC MON, IN CASE, DOWN 0.3', LS 11691 (6/29/17)

FOUND PUNCH IN 1.5" BRASS DISK IN CONC MON, IN CASE, DOWN 0.3', LS 11691 (6/29/17)

NEWPORT WAY NW

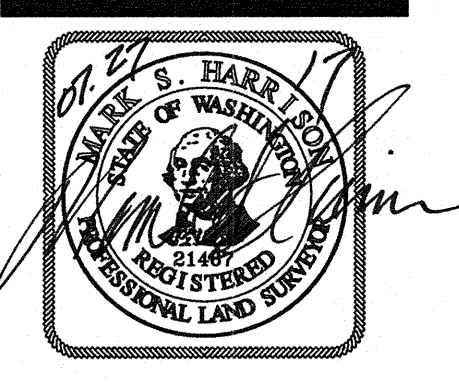
GENERAL NOTES

- THERE ARE TWO SETS OF BOUNDARY LINES SHOWN ON THE EAST AND WEST SIDES OF THE PROPERTY. THE WESTERLY OF THE TWO LINES ON EACH SIDE OF THE PROPERTY IS BASED ON CITY OF ISSAQUAH SHORT PLAT NO. 79-12, RECORDING NOS. 8001020405 AND 9510199010. THE EASTERLY OF THE TWO LINES ON EACH SIDE OF THE PROPERTY IS AS DESCRIBED IN STATUTORY WARRANTY DEED RECORDED UNDER RECORDING NO. 8001090169, RECORDS OF KING COUNTY, WASHINGTON. THE LINES ARE APPROXIMATELY 30 FEET APART ON EACH SIDE. THE IMPROVEMENTS ON THE PROPERTY APPEAR TO HAVE BEEN CONSTRUCTED BASED ON THE STATUTORY WARRANTY DEED LEGAL DESCRIPTION.
- EASEMENTS AND LEGAL DESCRIPTION ARE BASED ON THE TITLE REPORT BY FIDELITY NATIONAL TITLE OF WASHINGTON, INC., ORDER NO. 20375033-416-416, DATED APRIL 24, 2017, AT 8:00 A.M.
- PRIMARY CONTROL POINTS AND ACCESSIBLE MONUMENT POSITIONS WERE FIELD MEASURED UTILIZING GLOBAL POSITIONING SYSTEM (GPS) SURVEY TECHNIQUES USING TRIMBLE R10 GNSS EQUIPMENT. MONUMENT POSITIONS THAT WERE NOT DIRECTLY OBSERVED USING GPS SURVEY TECHNIQUES WERE TIED INTO THE CONTROL POINTS UTILIZING TRIMBLE VX SPATIAL STATION FOR THE MEASUREMENT OF BOTH ANGLES AND DISTANCES. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS SET BY WAC 332-130-090.
- THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON JULY 21, 2017 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITION EXISTING AT THAT TIME.

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TOPOGRAPHIC SURVEY
FOR
KING COUNTY HOUSING AUTHORITY
1505 NEWPORT WAY NW
SPECTRUM DEVELOPMENT SOLUTIONS
WASHINGTON
CITY OF ISSAQUAH

DATE:	BY:	CK:
REVIEWED BY:	DATE:	REVISION:
NO.:	DATE:	REVISION:
GREGORY T. JUNEAU, PLS PROJECT MANAGER		
MARK S. HARRISON, PLS PROJECT SURVEYOR		
PROJECT ENGINEER		



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UNLESS SIGNED AND DATED

FIRST SUBMITTAL DATE: 7/27/17
SCALE: HORIZ: 1"=20' VERT:

PROJECT NO.
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SHEET NO.
2

OF **2**

Plot Date: 7/27/2017 4:11 PM
Save Date: 7/27/2017 4:02 PM
By: Charles Cornwall
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By: Cpc