



THE TRAILHEAD

CONCEPT DESIGN

08.28.24 | 24-027



WEBER THOMPSON



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ZONING CODE SUMMARY

CODE SECTION	SUBJECT	REQUIREMENT
18.404.080	Zoning	UC Urban Core, Mixed Zone
18.404.100	Form and Intensity	Height: Base = 60 ft; Max = 125 ft FAR Residential: Base = 3.0, Max = 5.0 FAR Non-Residential: Min = 0.55, Base = 1.25, Max = 5.0 Build-To Line: 0-10 ft Setbacks: No front, rear or side setbacks
18.404.040.B	Pervious Area	All required pervious areas on site must be landscaped Max impervious surface area is 95%
18.404.050.B	Measuring Height	Building or structure height must be measured from the average grade of the existing or finished grade, which ever is lower, to the highest point of coping of a flat roof.
18.404.050.C	Height Exemptions	To the minimum required by building code, mechanical penthouse or ornamental screening for rooftop heating, ventilating and air conditioning equipment and stair towers; Elevator shafts to the minimum required by IMC title 16, Buildings and Construction; Solar Panels or arrays
18.404.060.A	Additional Height	To Exceed base height, all the following must be met: 1. Additional height enhances architectural design by allowing parapets, gables, bell or clock towers, or other prominent features 2. Solid walls on the ground floor do not exceed 20 ft and must be softened with modulation minimum 2 feet deep, design details, and dense landscaping 3. Solid walls at ground floor must be separated minimum 10 ft with transparency. 4. The ground floor uses at least three design features (transparent doors, artwork, fountains, street furniture, varied exterior materials, or plazas); and 5. When adjacent to a lower-density residential zone, building height within 30 feet of the property line may not exceed the building height allowed in the lower-density zone.
18.404.060.B	Additional Height up to 50 ft	Base height may be adjusted by the director through the deviation process, must meet all the following criteria Building setbacks are included such that the gross floor area of additional stories is reduced by 25% of the floor beneath The percentage of pervious surface is increase by 10% Building height shall not exceed 125 ft
18.404.070	FAR Calculation	FAR = (Gross Floor Area of Building or Buildings) / (Developable Site Area) Structured, underbuilding, and surface parking are not included in the gross floor area calculation Developable site area is the gross site area minus deductions for critical areas and associated buffers as required by Chapter 18.802 IMC, Critical Areas, and minus deductions for community and amenity spaces and Green Necklace amenities under Chapter 18.608 IMC

CODE SECTION	SUBJECT	REQUIREMENT
20.25A.020	Density Calculation	Density (Dwelling Units/Acre) = (Number of Dwelling Units) / (Developable Site Area)
18.404.070.D	Density and Floor Area	Where an applicant seeks to exceed the base FAR , the development bonus program in IMC 18.514.040 may be used.
18.514.040.C	Central Issaquah Development Bonus Program	Projects seeking this program must comply with the terms of IMC 18.514.020, General affordable housing provisions, and 18.514.030, Affordable housing covenant.
18.514.040.D	Public Benefits	1/3rd of public benefit must be made of mandatory public benefit options, the remaining 2/3rds is comprised of elective public benefit options. Mandatory: 20% of the bonus sf mustbe affordable housing at 80% AMI or below. Elective: Either 20% of bonus sf allotted to affordable housing, or 1 sf of on-site open space per sf of bonus area.
18.514.060	Required Affordable Housing	Either: 12.5% of units at 60% AMI or 10% of units at 50% AMI
18.404.140.D	Minimum Building Frontage	In the Urban Core zone, minimum building frontage is at least 75%. Building frontage must occupy all of the build-to-line at intersections for a minimum distance of 60 feet from the corner. E. Establish Streetwall. Buildings must be built to the edge of the sidewalk or the allowable setback to maintain a consistent frontage. This type of frontage is known as a streetwall. 1. Build-to-Line Setback. The space between the property line and the building must include landscaping with evergreen plantings to maintain year-round interest, and one of the following: a. A combination of benches, low walls, or other hardscape elements to enhance social interaction; b. Other pedestrian amenities, for instance, the public sidewalk, may be widened to include elements such as additional walkway width, outdoor seating, retail displays, landscape planters, benches or fountains while maintaining a pedestrian-friendly environment on the sidewalk; or c. Amenities as required that contribute to the Green Necklace per Chapter 18.608 IMC.

ZONING CODE SUMMARY (CONTD.)

CODE SECTION	SUBJECT	REQUIREMENT
18.404.140.D	Minimum Building Frontage	<p>In the Urban Core zone, minimum building frontage is at least 75%. Building frontage must occupy all of the build-to-line at intersections for a minimum distance of 60 feet from the corner.</p> <p>E. Establish Streetwall. Buildings must be built to the edge of the sidewalk or the allowable setback to maintain a consistent frontage.</p> <p>I. Build-to-Line Setback must include landscaping, and one of the following:</p> <ol style="list-style-type: none"> A combination of benches, low walls, or other hardscape elements Other pedestrian amenities, eg widened sidewalk to include additional width, outdoor seating, retail displays, landscape planters, benches or fountains Amenities as required that contribute to the Green Necklace per 18.608 IMC. <p>Where critical areas and their buffers are present, the frontage used to calculate the minimum building frontage must be reduced for each foot of restricted frontage.</p> <p>The building frontage requirement may be reduced by 10 percentage points to accommodate community spaces including plazas, outdoor café seating, or entry courts, as discussed in Chapter 18.608 IMC</p>
18.600.042.A	Stepback Based on Natural Area Orientation	<p>4. For buildings taller than five floors, stepback must begin by the sixth floor but may begin as low as the third floor. Stepback must be minimum 5ft and maximum 20 ft.</p>
	Uses Based on Natural Area Orientation	<p>Newport way NW is part of "150' Natural Context Zone"</p> <p>Buildings must be oriented towards natural areas in Central Issaquah (see Figure 18.600.042(A)). Development sites, partially or totally within the Natural Context zone (i.e., within 150 feet of a natural area), and adjacent site development must respect, reinforce, and strengthen natural area assets.</p> <ol style="list-style-type: none"> Buildings must be designed to face the natural area and use natural materials and finishes that will age well over time. Doors and windows must make up 50 percent of the wall(s) oriented toward natural areas Uses and activities shall be placed in the setback from the natural area 6. Only native plant material landscape shall be used in the area between the building and the natural area. Only native plant material landscape shall be used in the area between the building and the natural area. Buildings shall be designed with balconies, stoops, porches and/or upper floor terraces facing the natural area. Public walkways shall be provided between regulated creek or wetland open space and the building frontage. For development adjacent to natural areas with water (such as wetlands, streams, and ponds), a water-oriented feature shall be provided, such as viewing platforms, trails, and outdoor seating areas accessible to the public while containing human and pet impacts with a barrier, railing, or fence.

CODE SECTION	SUBJECT	REQUIREMENT
		<p>10. Building activities and design that close off the building from the natural area are prohibited, including, but not limited to, utility rooms, storage, and solid walls with lack of windows and doors.</p> <p>11. Driveways, parking loading areas, outdoor storage areas between buildings and open spaces/natural areas are prohibited.</p>
18.602.120.D	Ground Floor Height	Ground level retail and entrance lobby uses located on a pedestrian-oriented transportation facilities must have a first-floor height of at least 15 feet.
18.602.040.J	Ground floor uses in Mixed use zones	The ground floor must be designed to incorporate active, visible uses (e.g., retail) or other visible uses that engage the pedestrian (e.g., residences, meeting rooms, lobbies, live/work).
18.600.050	Buildings with Commercial Use at Grade	<p>Buildings located along a public street must incorporate at least four of the following elements into any ground-floor, street-facing façade: Lighting supported by ornamental brackets; Belt courses; Plinths for columns; Ornamental doors or window; Projecting sills; Tilework; and/or Potted plants or hanging baskets supported by ornamental brackets</p> <p>Windows and façades must be recessed a maximum of 18 inches from the build-to-line to accommodate columns or other architectural elements</p> <p>Entry areas and doorways must be recessed a maximum of four feet to provide a transition into storefronts.</p>
18.600.060	Buildings with Multifamily Units at Grade	<p>The primary entry for multifamily residential buildings with ground-floor units that do not have entries facing the street must open directly onto the transportation facility. Primary building entries must include a clearly identifiable entry doorway visible from the adjacent transportation facility, enhanced landscaping, special paving, and pedestrian-scaled lighting and/or lighted bollards.</p> <p>Architectural elements must be used to provide a clearly identifiable and defensible entry visible from the street and include at least two of the following: a. Recesses, b. Balconies, c. Articulated roof forms, d. Front porches, e. Arches, f. Trellises, g. Glass at sides and/or above entry doors, h. Awnings and/or canopies. Where building frontage > 50 feet, each unit must have a separate entry directly from the sidewalk, through block passage, courtyard, etc except where unavoidable factors preclude the connection. Where the connection is precluded, terraces, balconies, or similar active facility must be provided for each ground floor unit.</p>

ZONING CODE SUMMARY (CONTD.)

CODE SECTION	SUBJECT	REQUIREMENT
18.602.100.D		Units adjacent to sidewalks and public walkways must have a finished floor elevations minimum 18 inches above exterior ground level with recessed entries oriented to stoops, patios, terraces, or porches for each individual entry if required
18.600.05	Commercial and mixed-use buildings	Where a commercial use is on the ground floor, buildings located along a public street must incorporate at least four of the following elements into any ground-floor, street-facing façade: a. Lighting supported by ornamental brackets; b. Belt courses; c. Plinths for columns; d. Ornamental doors or window; e. Projecting sills; f. Tilework; and/or g. Potted plants or hanging baskets supported by ornamental brackets.
18.600.080	Retail use entries.	Retail entries must comply with all of the following: 1. A customer entrance must be oriented to the street and directly accessible from the adjacent sidewalk; 2. Retail uses must have at-grade entries fronting sidewalks; 3. Secondary entries are permitted along a through block passage, alley, or parking lot; 4. Entries directly from parking lots must be limited to service, employee, and emergency access; 5. Entrances to business must be identifiable; 6. A minimum of 25 percent of the retail area must be oriented to pedestrians; and 7. Use of ramps or steps to access a retail storefront is prohibited.
18.600.090	Fences and walls	Site walls adjacent to walkways, sidewalks, or trails shall not be taller than 4 ft . In all cases of terracing, walls must be terraced with a minimum of three feet to accommodate landscaping.
18.604.080	Parking	Multifamily: Min 0.75 stalls / unit (@155 units = 117 stalls) Commercial: Min 1.63 stalls / 1,000 sf GFA (@10,000sf = 16.3 stalls) Clinic: Min 3.89 stalls / 1,000 sf GFA (@10,000 sf = 38.9 stalls) Office: no Minimum
18.604.160	Parking Reductions Transit access reduction	Up to 20% reduction without a TDM study is: The primary pedestrian entrance to the building is within a quarter mile of the frequent transit facilities; and The pedestrian routes are not geographically interrupted by features such as steep slopes or major arterials and highways with no pedestrian crossings. Up to 40% reduction with a TDM study if: Generally continuous weather protection is provided for pedestrians on 75% of building frontage, not including crossings of vehicular routes; Continuous, direct sidewalks or walks are provided; Generally continuous street lighting and minimized and/or enhanced pedestrian crossings of vehicular routes are provided.
18.604.100	Motorcycle parking	Parking spaces must be provided at one per 36 of the required automobile spaces. Motorcycle spaces must be located according to the same criteria and standards of compact parking spaces.
18.604.170	Parking Standards / Sizes	Compact Stalls: max 60%, Micro stalls: max 5% Stall sizes @ 90 deg: Standard= 18.5 x 9, Compact = 16 x 8, Micro = 12 x 7 Aisle size for standard stalls = 24 ft, Aisle size for compact stalls = 22 ft

CODE SECTION	SUBJECT	REQUIREMENT
18.604.180	Structured Parking	Vehicle entries must be 40 ft minimum from street corners. Where structured parking is provided on the ground level, commercial or residential uses must be provided along the build-to-line with parking facilities placed behind. The commercial or residential space must be a minimum depth of 20 feet.
18.604.110	Off Street Loading	width: 10 ft min, Vertical clearance: 14 ft min, Lenth: high demand = min 35 ft. Multifamily with 40 or more units = 2 spaces required Office and research: 1 loading space / 30,000 sf GFA
18.602.060	Rooftops	Where active uses cannot be placed on rooftops, rooftops should be used for passive activities, such as green roofs, solar panels, art and/or design Mechanical, electrical, and communication equipment, satellite dishes, utilities, infrastructure housing, HVAC, except renewable energy appurtenances, must be screened from view from surrounding sidewalks, through block passages, community spaces, or public parks.
18.602.080	Ground Level Transparency	transparency percentage is measured for each façade facing a public space and includes the linear five feet above the building's first finished-floor height. Transparency includes windows and transparent glass doors. 40% ground floor façade transparency is required fronting streets, through block passages, natural areas, or publicly accessible open space. For multifamily units located directly adjacent to the sidewalk, the first floor must achieve 40% transparency at higher than six feet above exterior ground level. Multifamily window transparency percentage standards may be adjusted by 10 percent when housing units make up at least 50% of the ground floor space that fronts streets, through block passages, natural areas, or publicly accessible open space.
18.602.040.E	Blank Walls	Blank walls longer than 30 linear feet are not allowed except when facing alleys. If windows and doors are not present, blank wall treatment is required. Treatment methods include, but are not limited to, at least two of the following: other forms of transparency; vertical trellises with vines; decorative tile, cornices, masonry; artwork; Discernible change in building materials, patterns, color every 15 ft; building details for visual interest;
18.602.070	Entry Weather Protection	Each primary building entrance must have weather protection. Weather protection is required over primary entrances. Weather protection must be provided on no less than 75% of the building façade length where the building is located adjacent to a sidewalk, pedestrian path.

















ZONING CODE SUMMARY (CONTD.)

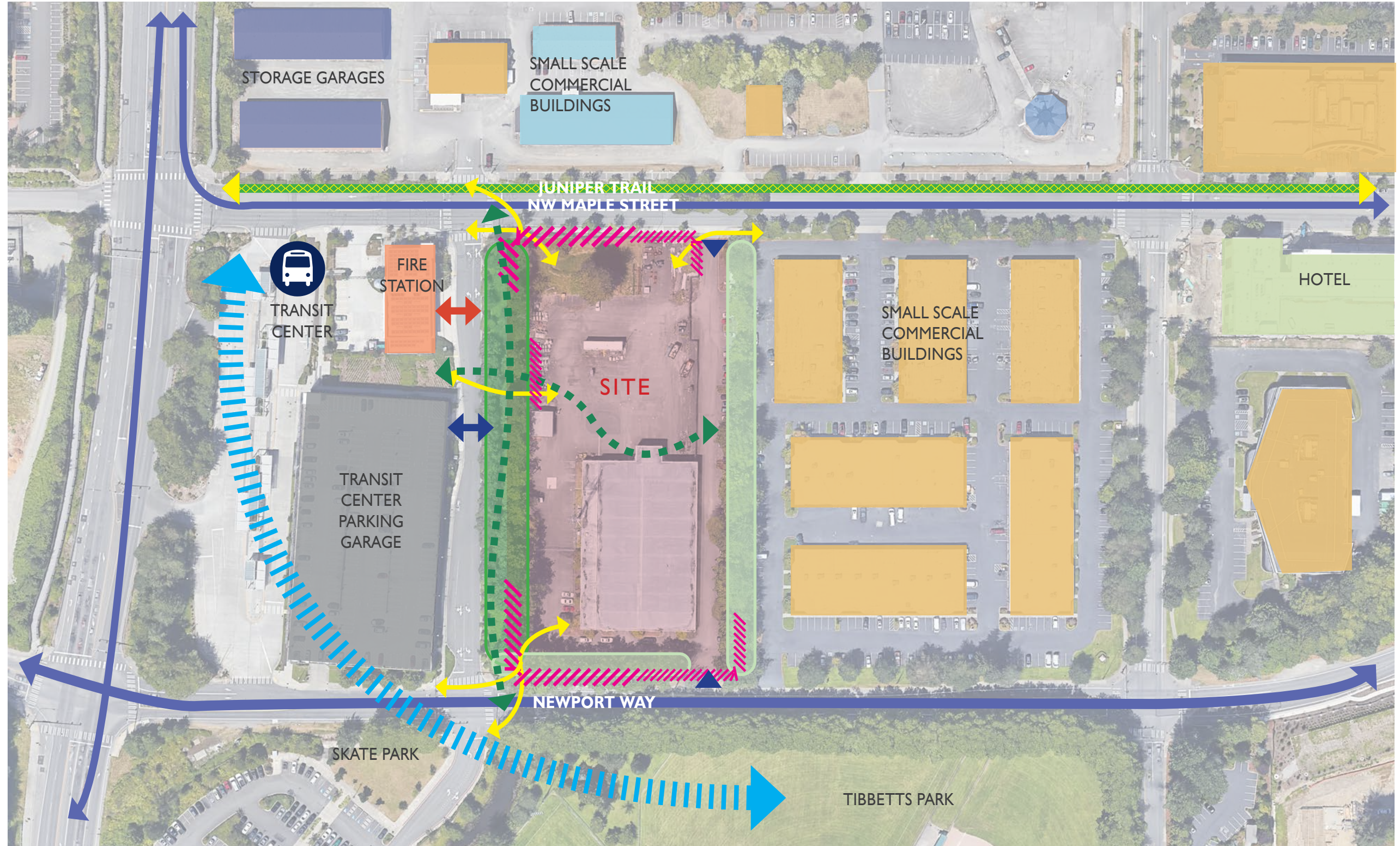
CODE SECTION	SUBJECT	REQUIREMENT
18.608.060	Amenity requirements for Residential Use	Residential with 22 or more units: 100 sf min Common Outdoor Amenity Space +400 sf Indoor or Outdoor Common Amenity Space 48 sf / unit Private Outdoor Amenity Space (min 6' x 8')
18.608.070	Amenity requirements for Nonresidential Use	20 ft x 20 ft min community space. 25 ft / 1,000 sf non-residential construction. No Plaza smaller than 2,000 sf (10,000sf/1,000 x 25 = 250 sf min community space) Some portion of the community space must be usable year-round. (may still be "exterior" just with cover)
18.608.090	Plazas	The plaza must be at the same level as the public sidewalk on at least one side.
18.702.035	Through Block Passage	When access is to 7 or more entryways = 10 ft wide + 5ft landscaping each side When access is to 6 or less units = 6 ft wide +5 ft landscaping each side Walkway must feature concrete, decorative painting, or other similar decorative and durable surface materials. Asphalt is prohibited. Landscape strip must be located on each side of the path with Type 3 visual buffer per Table 18.606.070(C). Raised planter walls must be included in the required landscape area but may not be taller than two feet. 4. Buildings may project or cantilever over a through block passage provided a 13-foot, six-inch vertical clearance is maintained, and all other regulations are met. 5. For mixed-use projects, the type of passage to be constructed will be determined by the use gaining access from the through block passage. 6. Site furniture and amenities shall not impede or block the through block passage. Only landscape amenities (e.g., benches, waste cans, lighting, signs, and similar design elements) can be placed within the landscape strip. 7. At least one bench or seating unit must be provided every 25 feet along the through block passage. If only one seat is required, it must be located near the midpoint of the walkway. 8. The through block passage must have adequate lighting consistent with Chapter 18.610 IMC, Outdoor Lighting. 9. The through block passage must provide wayfinding signage governed by Chapter 18.612 IMC, Signs, informing the public the path can be used. 10. The through block passage must be physically separated from vehicle areas. 11. The through block passage may be integrated into community spaces and plazas but alone does not fulfill community space requirements. (Ord. 3018 § 2 (Exh. B), 2023). A through block passage may not be constructed if the location adversely impacts critical areas and associated buffers on or immediately adjacent to the site. The width of the through block passage may be reduced to preserve existing trees or to maintain tree density requirements for the site.
	Allowed Deviation	

CODE SECTION	SUBJECT	REQUIREMENT
18.702.100	Scale based on Architectural Style	Building Lengths must be less than 250 linear ft Tripartite composition for all buildings over 4 stories If >5 stories, Floor 5 must stepback a min of 5 ft and max 20 ft Buildings over 100 ft length, one vertical articulation approximately every 25 ft. Vertical emphasis for min 80% of façade articulation via min 12" depth plane change/ \indentation/projection.
	Roofs	3. Compliant design options are the following: a. Flat roof buildings with cornice or other roofline definition to add visual interest such as stepback, parapet treatment, material change; b. Penthouses or upper floor stepback. Stepback may incorporate terraces or balconies, and floors above the fifth stories must be stepped back; c. Sloped roof – gable, simple hipped roof, hipped roof with flat top; d. Rhythmic building articulation along street wall; e. Symmetrical or asymmetrical; and f. Eaves/overhang are none to minimal.
	Walls	Min 75% of the façade must be brick or wood; max 25% concrete or metal panel Max. three materials on the main body, max two materials on the penthouse. Material options: wood siding/shingles/simulated wood; Brick masonry; concrete limited to podium or base only; metal panels as secondary accent material only
	Windows	3a. min 4 types of combination windows with operable portion; b. Industrial style windows such as metal frame, divided lite window c. Variation in size to establish horizontal or vertical rhythm; d. Storefront system at ground floor for retail or commercial uses; e. Windows are punched by min 2.5" from face of façade; and f. Minimal to no window trim.
	Doors	Required all of the following: a. If using basic glass storefront system door for public spaces and lobbies, embellish entry with other features such as awning and lighting; b. For ground floor residential units, wood or metal door with partial lite; and c. Recessed the entry to a maximum of four feet.
	Roofs	Compliant design requires one of the following options a. Asphalt roof shingles in gray, black, earthtones; b. Wood shingles/shakes/simulated wood, in natural stained or to match cladding; c. Standing seam metal roofing in neutral, gray, or to match cladding; or; d. Concrete or clay tile;
	Colors	Compliant design is limited to the following colors related to the materials, as long as no more than three colors are used, not including the roof a. Brick: natural, black, white, gray; b. Concrete: natural or to match or complement other materials; c. Steel: natural, stainless, or black for contrast; d. Metal panels: to match or complement other natural material colors; e. Wood, or simulated wood: natural stained, gray.

SITE ANALYSIS

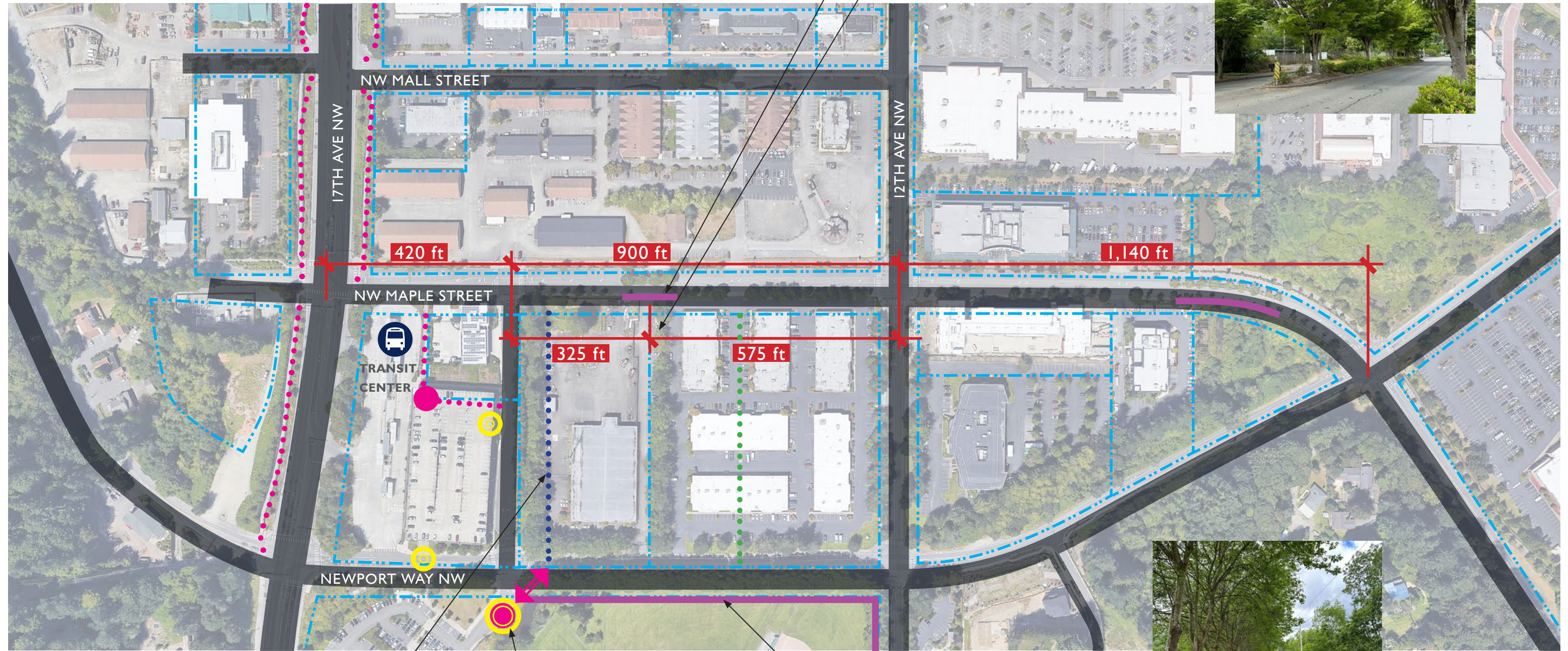
KEY

-  Juniper Trail
-  Important Pedestrian Connections
-  Important Vehicular Connections
-  Fire Truck Entry and Exit
-  Parking Garage Entry and Exit
-  Optimal Views from site
-  Site Existing Curb Cuts
-  Wetland and/or Existing Vegetation
-  Opportunities for Development Identity
-  Potential Through Block Connection
-  Office buildings
-  Commercial buildings
-  Institutional buildings
-  Hotel
-  Fire Station
-  Parking structure



TRANSPORTATION NETWORK

- PEDESTRIAN DESTINATIONS
- EXISTING PEDESTRIAN PATHS
- PROPOSED PEDESTRIAN PATH
- POSSIBLE FUTURE CONNECTION ON ADJACENT SITE
- ◎ VEHICLE DESTINATIONS
- EXISTING BARRIERS
- - - - EXISTING LINES OF OWNERSHIP



Existing landscaped median with mature trees preventing continuation of core street to north.

Centering a core street on existing property line does not meet the city's goals for breaking down the large block lengths for pedestrians into segments under 500 ft.



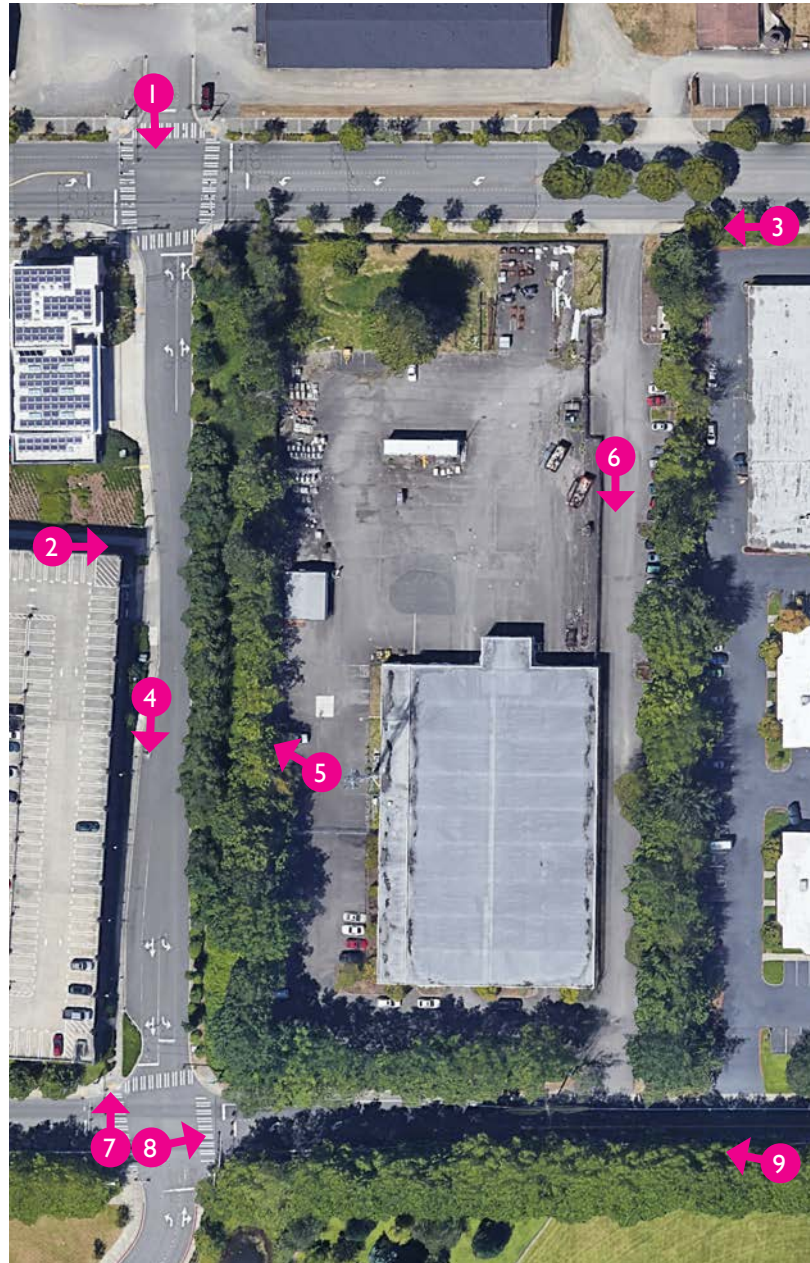
Creating a dedicated shared path for pedestrians and non-motorized vehicles in this location can result in a more even break down of the large block for pedestrians while also providing better access to pedestrians' likely destination at Tibbets Park.

Entry into Tibbets Park is the pedestrian and vehicle destination on Newport Way.

Existing sidewalk and fence condition prevent pedestrians from continuing into the park along this edge.



SITE IMAGES

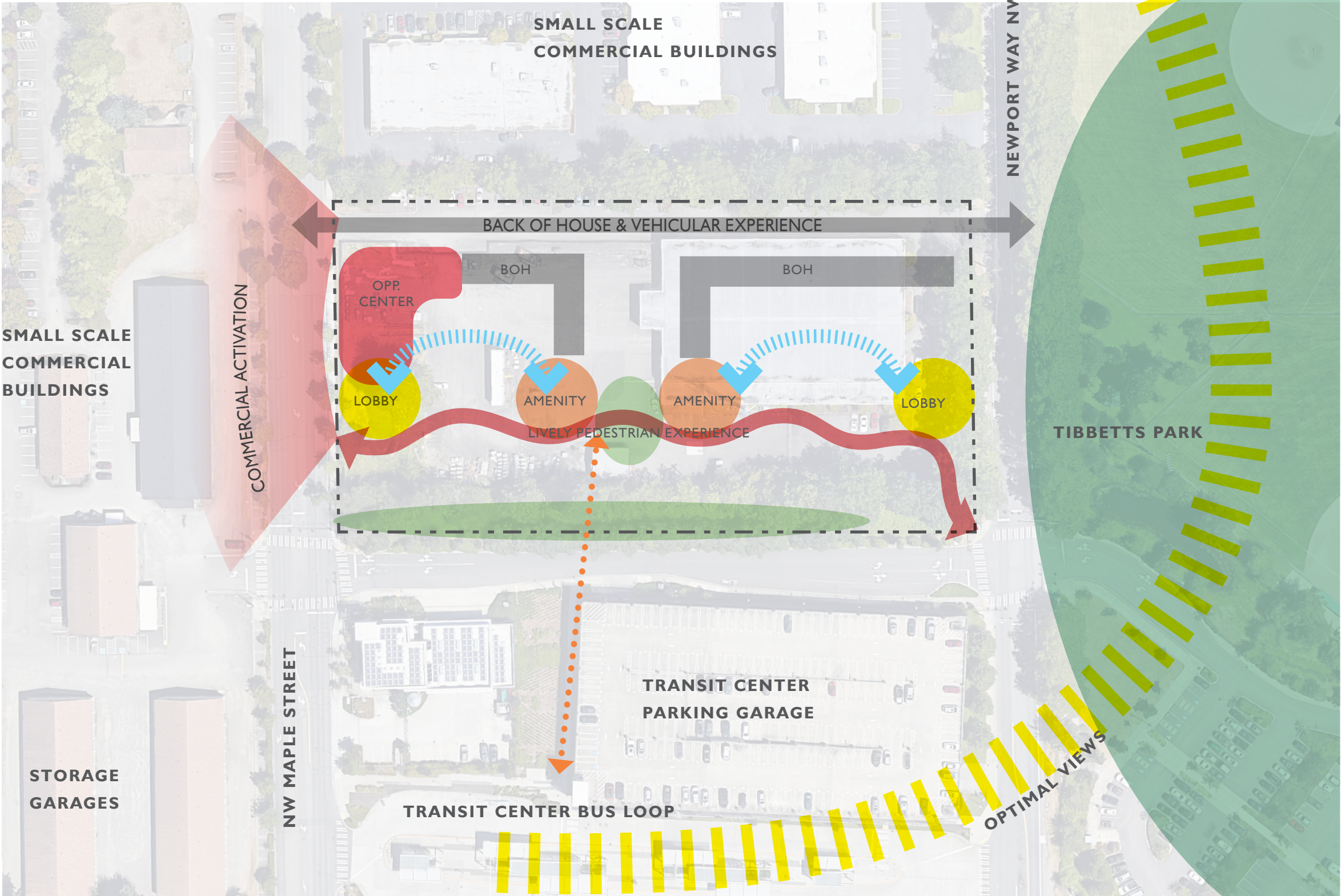


SITE CONCEPT: NATURAL SPACE AS AMENITY

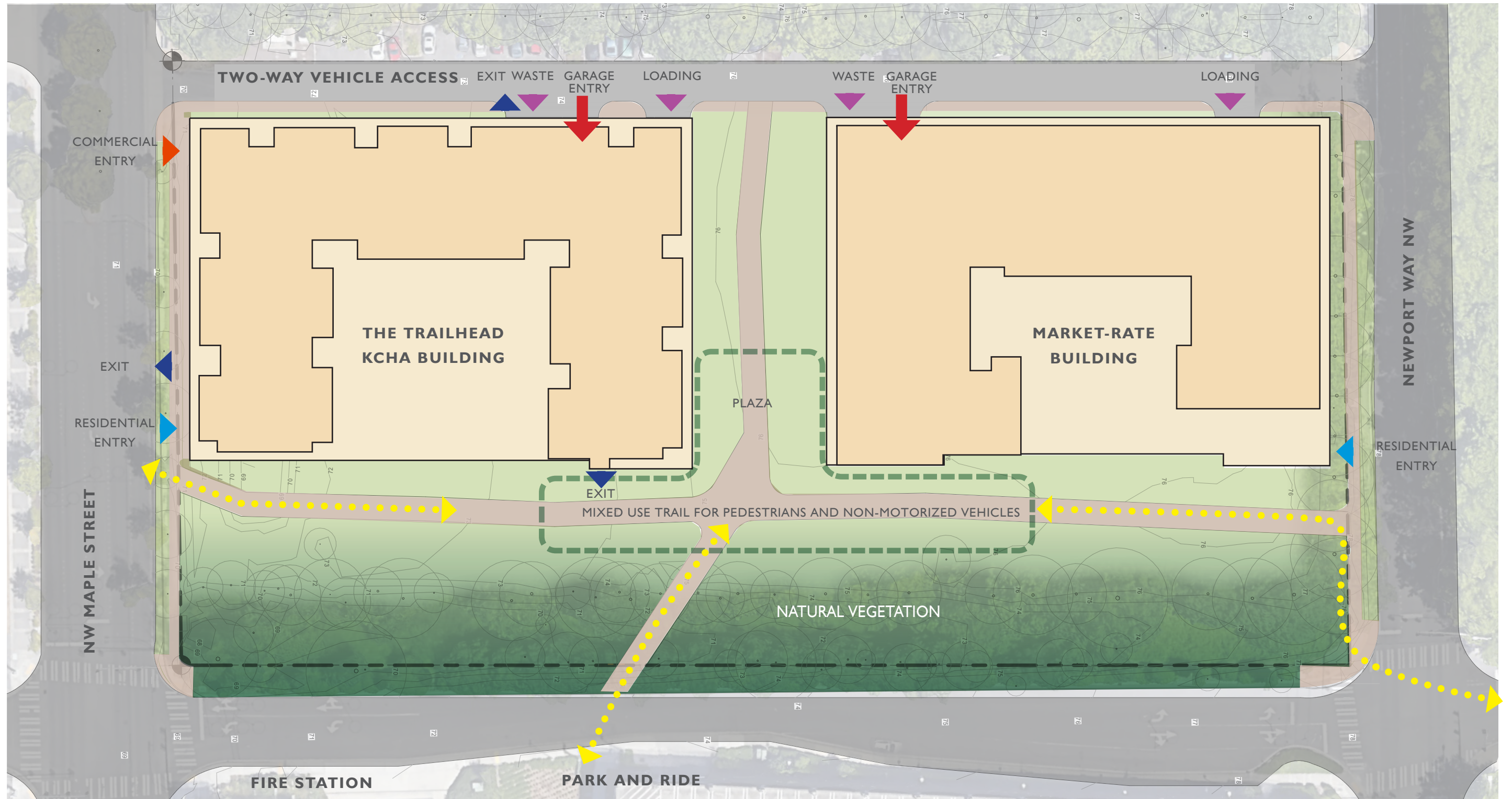
GOALS OF CONCEPT

- Embrace the natural resource on site and related buffers as an amenity.
- Separate pedestrians and vehicles to optimize experiences for each.
- Activate a non-motorized trail adjacent to the natural space with residential lobbies, amenities and grade-level units.
- Orient residential units to capture desirable southwest views.

CONCEPT DIAGRAM



PRELIMINARY SITE PLAN



KCHA TYPE V STUDY

TYPE V STUDY: LEVEL I PLAN

NOTE: TYPE V CONSTRUCTION IS ONLY REFLECTED IN THE KCHA AFFORDABLE BUILDING. THE MARKET RATE (SOUTHERN) BUILDING REFLECTS TYPE III CONSTRUCTION IN BOTH STUDIES



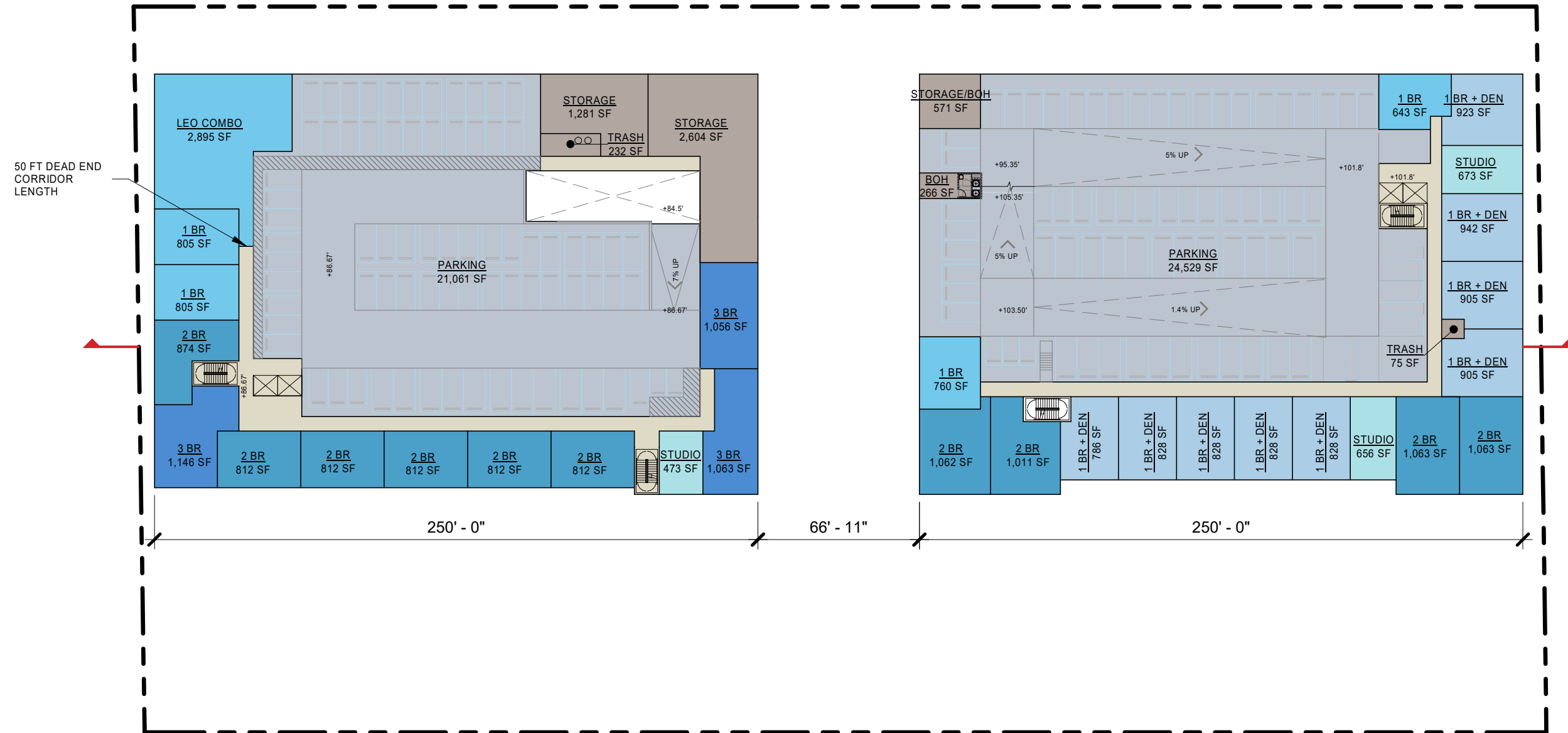
TYPE V STUDY: LEVEL 2 PLAN

NOTE: TYPE V CONSTRUCTION IS ONLY REFLECTED IN THE KCHA AFFORDABLE BUILDING. THE MARKET RATE (SOUTHERN) BUILDING REFLECTS TYPE III CONSTRUCTION IN BOTH STUDIES



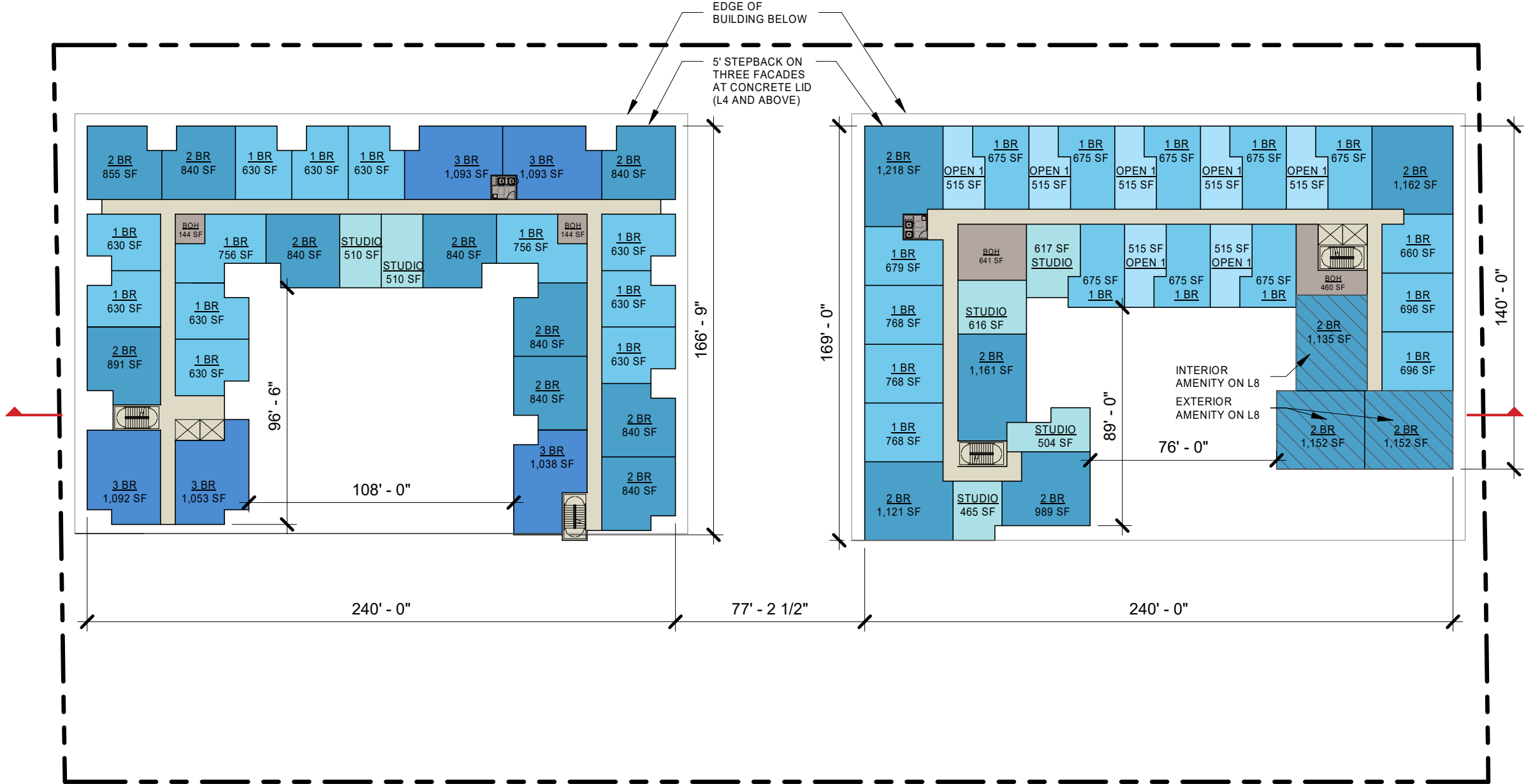
TYPE V STUDY: LEVEL 3 PLAN

NOTE: TYPE V CONSTRUCTION IS ONLY REFLECTED IN THE KCHA AFFORDABLE BUILDING. THE MARKET RATE (SOUTHERN) BUILDING REFLECTS TYPE III CONSTRUCTION IN BOTH STUDIES



TYPE V STUDY: TYPICAL RESIDENTIAL PLAN

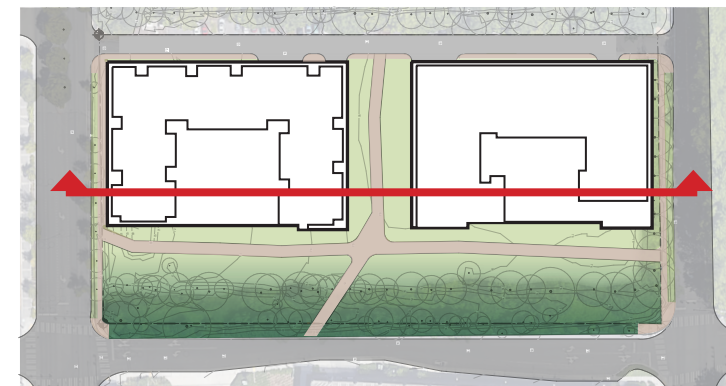
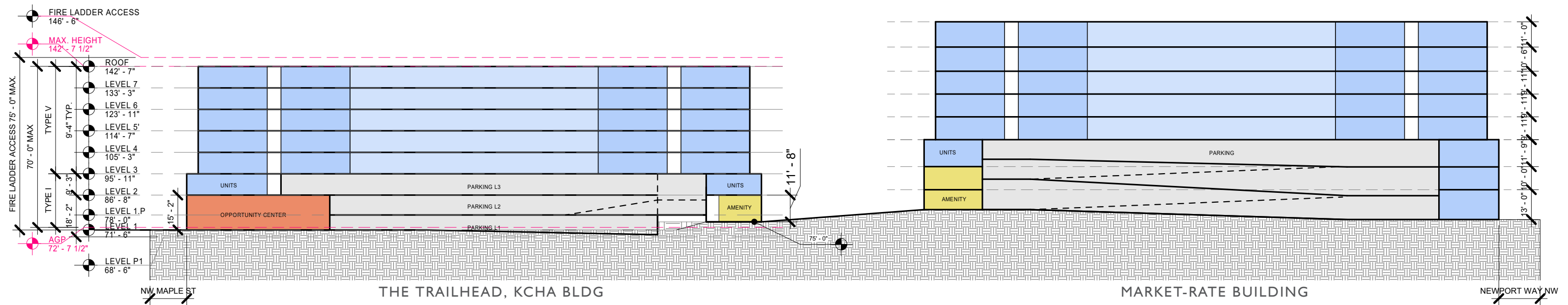
NOTE: TYPE V CONSTRUCTION IS ONLY REFLECTED IN THE KCHA AFFORDABLE BUILDING. THE MARKET RATE (SOUTHERN) BUILDING REFLECTS TYPE III CONSTRUCTION IN BOTH STUDIES



NOTE: ADDITIONAL MODULATION IS REQUIRED PER IMC 18.702.100



TYPE V STUDY: SITE SECTION



- KEY**
- Opportunity Center
 - Residential Amenity
 - Residential Units
 - Parking

NOT TO SCALE

3D VIEWS



NORTHWEST AERIAL VIEW



SOUTHWEST AERIAL VIEW

3D VIEWS



NORTHWEST MID LEVEL VIEW



NORTHEAST MID LEVEL VIEW

3D VIEWS



NORTHEAST EYE LEVEL VIEW



SOUTHWEST EYE LEVEL VIEW

MATRICES: THE TRAILHEAD, KCHA BUILDING

AREA MATRIX

The Trailhead, KCHA building				BASIC UNIT MIX						
		SITE AREA	85,794 SF	3 BED	2 BED + DEN	2 BED	1 BED + DEN	1 BED	OPEN 1	STUDIO
				31	0	56	0	62	0	11
FAR (combined)	4.4	RESIDENTIAL PARKING STALLS	168	19%	0%	35%	0%	39%	0%	7%

LEVEL	FAR ESTIMATE	GROSS AREA	CORRIDOR / BOH / MEP	NET RENTABLE AREA (Corridor face of corridor wall to outside face of exterior wall)	# UNITS	AVERAGE UNIT SIZE	FLOORPLATE EFFICIENCY	LOBBY / LEASING / AMENITY AREA (INDOOR)	EXTERIOR AMENITY AREA	OPPORTUNITY CENTER	PARKING (FAR EXEMPT)	PARKING STALL COUNT
	SF	SF	SF	SF		SF						
LVL 8	28,806	28,806	4,092	24,714	29	852	85.8%	0				
LVL 7	28,806	28,806	4,092	24,714	29	852	85.8%	0				
LVL 6	28,806	28,806	4,092	24,714	29	852	85.8%	0				
LVL 5	28,806	28,806	4,092	24,714	29	852	85.8%	0				
LVL 4	28,806	28,806	4,092	24,714	29	852	85.8%	0				
LVL 3	20,310	41,371	7,190	13,120	12	1,093		0			21,061	76
LVL 2	657	17,495	657	0	0			0			16,838	48
LVL 1	23,130	41,371	6,901	3,132	3	1,044		4,666	TBD	10,017	18,241	44
SUBTOTALS	188,127	244,267	35,208	139,822	160	874		4,666	0	10,017	56,140	168

UNIT MATRIX

	Studio	Open 1	One BR	Two BR	Three BR	Per Floor
L1				0	3	3
L2						0
L3	1		2	6	3	12
L4	2	0	12	10	5	29
L5	2	0	12	10	5	29
L6	2	0	12	10	5	29
L7	2	0	12	10	5	29
L8	2	0	12	10	5	29
Sub-total	11	0	62	56	31	160
Total %	7%	0%	39%	35%	19%	
Target %	7%		39%	36%	18%	

MATRICES: MARKET-RATE BUILDING

AREA MATRIX

Market-Rate Building				BASIC UNIT MIX						
		SITE AREA	85,794 SF	3 BED	2 BED + DEN	2 BED	1 BED + DEN	1 BED	OPEN 1	STUDIO
		PARKING RATIO RESIDENTIAL	1.00	0	0	43	26	78	35	25
FAR (combined)	4.4	RESIDENTIAL PARKING STALLS	208	0.0%	0.0%	21%	13%	38%	17%	12%

		FAR ESTIMATE	GROSS AREA	CORRIDOR / BOH / MEP / LOADING	NET RENTABLE AREA (Corridor face of corridor wall to outside face of exterior wall)	# UNITS	AVERAGE UNIT SIZE	FLOORPLATE EFFICIENCY	LOBBY / LEASING / AMENITY AREA (INDOOR)	EXTERIOR AMENITY AREA	RETAIL	PARKING	PARKING STALL COUNT
		SF	SF	SF	SF		SF						
	LVL 8	27,542	27,542	4,123	19,980	31	645	72.5%	1,135	2,304			
	LVL 7	27,542	29,846	4,123	25,723	34	757	86.2%	0				
	LVL 6	27,542	29,846	4,123	25,723	34	757	86.2%	0				
	LVL 5	27,542	29,846	4,123	25,723	34	757	86.2%	0				
	LVL 4	27,542	29,846	4,123	25,723	34	757	86.2%	0				
	LVL 3	18,139	42,668	3,436	14,703	17	865	34.5%	0			24,529	72
	LVL 2	14,337	38,888	3,204	11,133	13	856	28.6%	0			24,551	72
	LVL 1	19,794	42,668	5,497	9,337	10	934	21.9%	4,960	TBD		22,874	64
SUBTOTALS		189,980	271,150	32,752	158,045	207	764		6,095	2,304	0	71,954	208

UNIT MATRIX

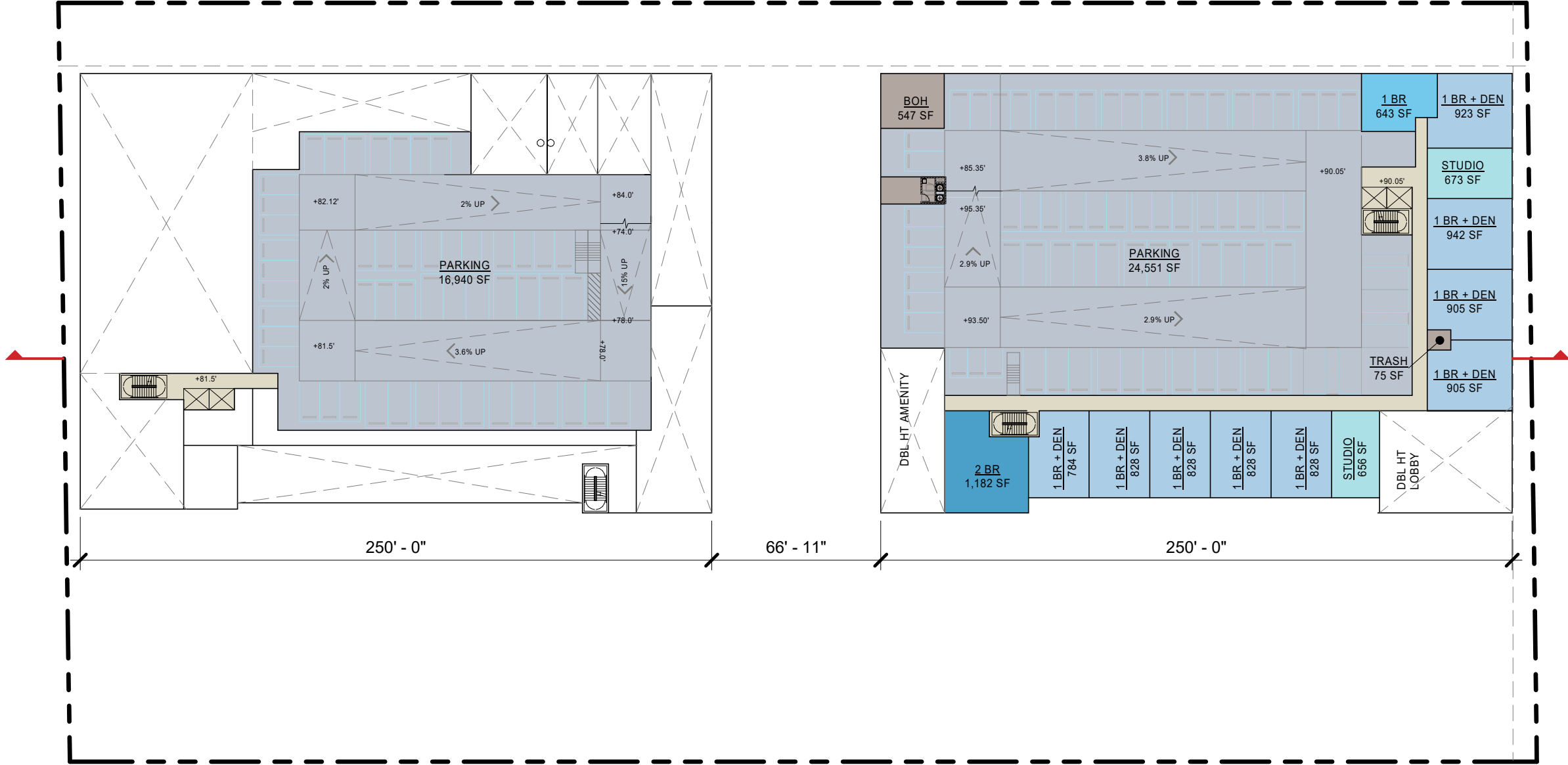
	Studio	Open 1	One BR	One +Den	Two BR	Per Floor
L1	1			8	1	10
L2	2		1	9	1	13
L3	2		2	9	4	17
L4	4	7	15	0	8	34
L5	4	7	15	0	8	34
L6	4	7	15	0	8	34
L7	4	7	15	0	8	34
L8	4	7	15	0	5	31
Total	25	35	78	26	43	207
Total %	12%	17%	38%	13%	21%	

KCHA TYPE III STUDY

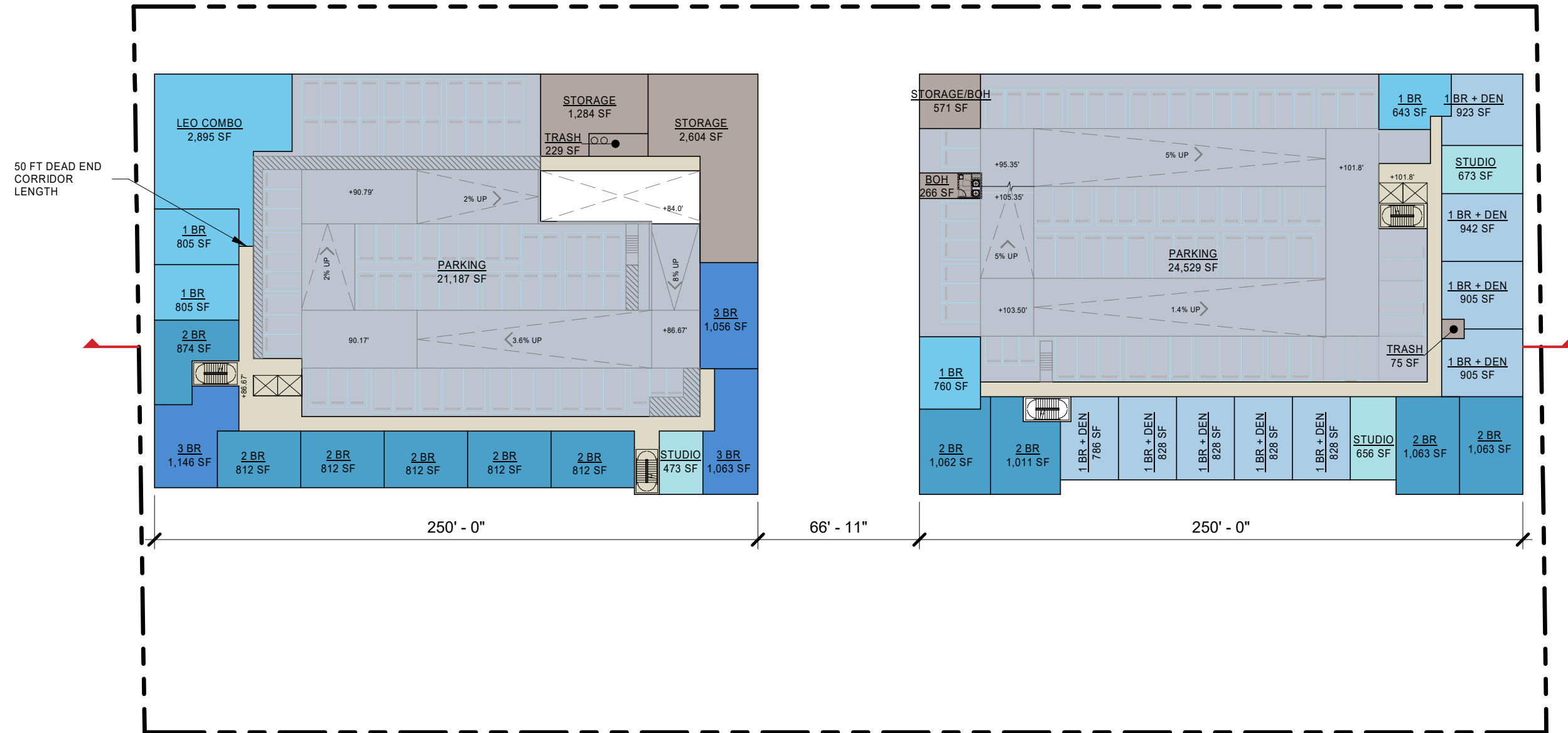
TYPE III STUDY: LEVEL I PLAN



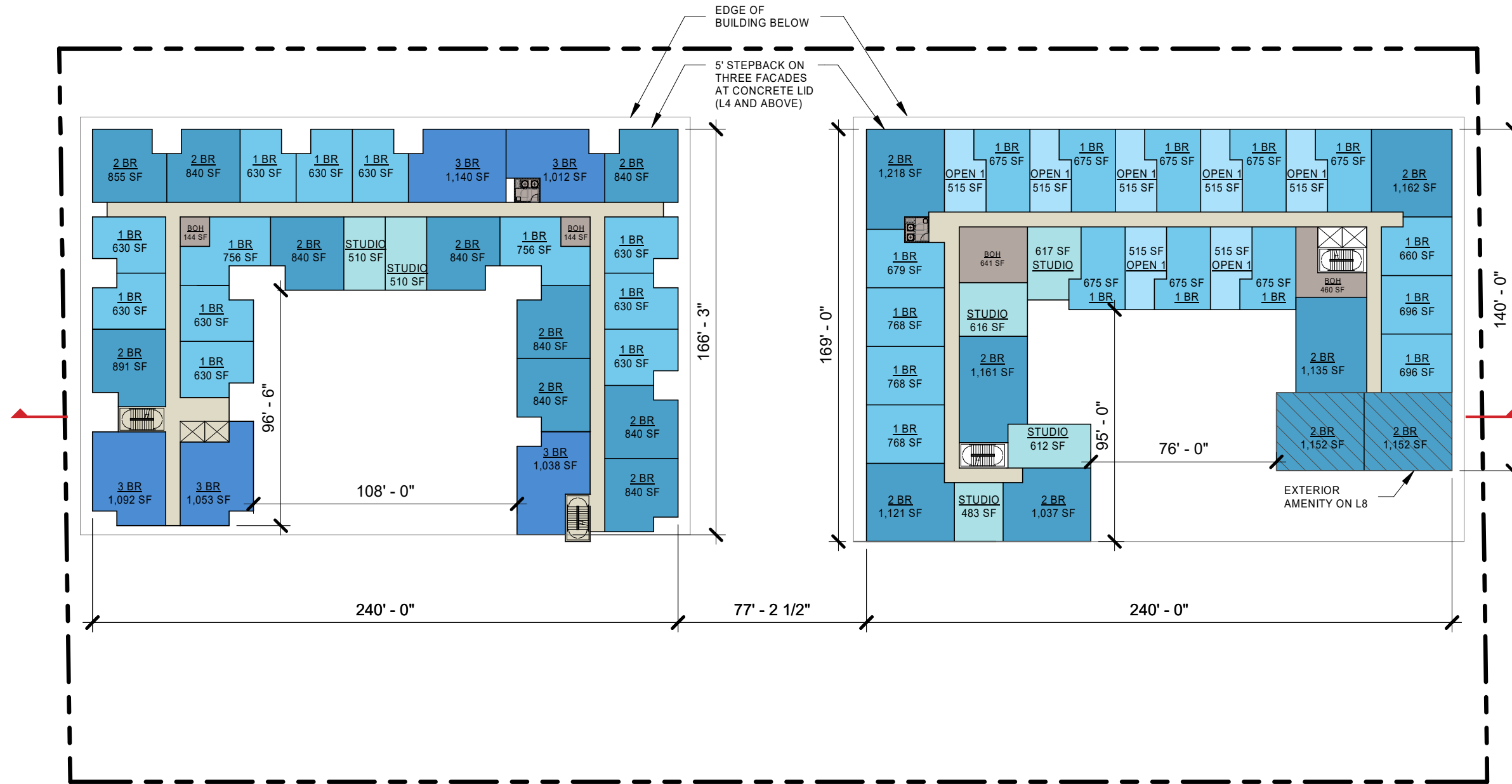
TYPE III STUDY: LEVEL 2 PLAN



TYPE III STUDY: LEVEL 3 PLAN



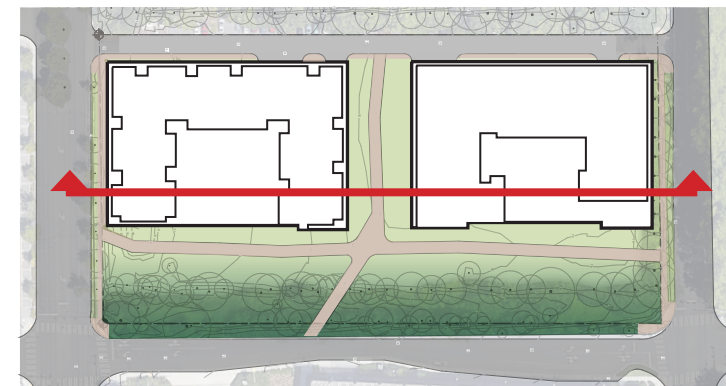
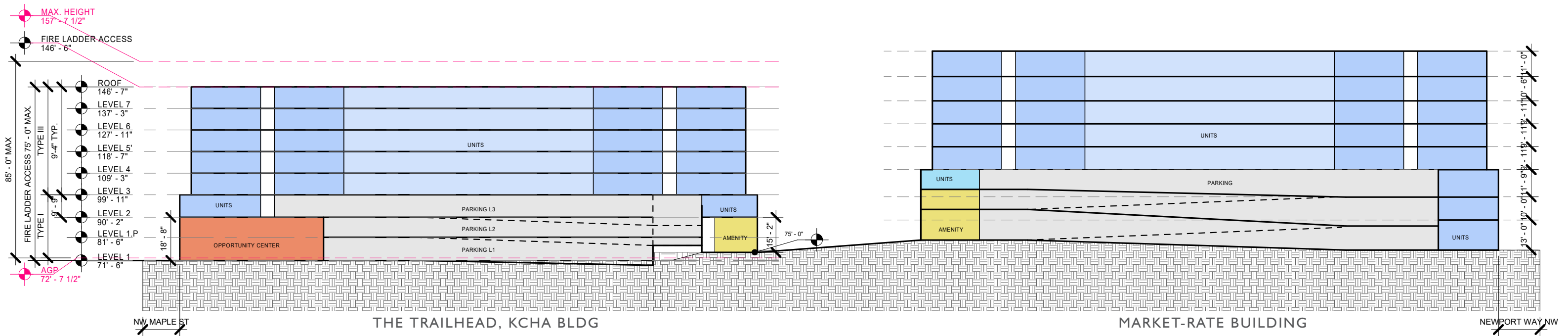
TYPE III STUDY: TYPICAL RESIDENTIAL PLAN



NOTE: ADDITIONAL MODULATION IS REQUIRED PER IMC 18.702.100



TYPE III STUDY: SITE SECTION



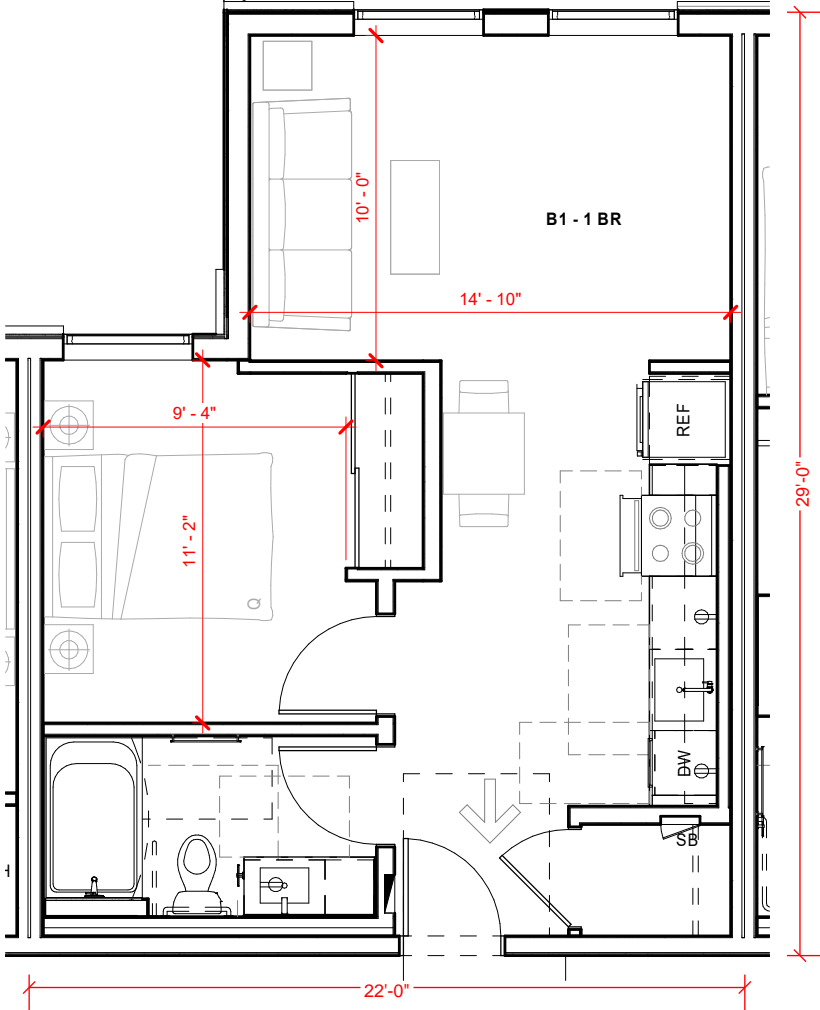
KEY

- Opportunity Center
- Residential Amenity
- Residential Units
- Parking

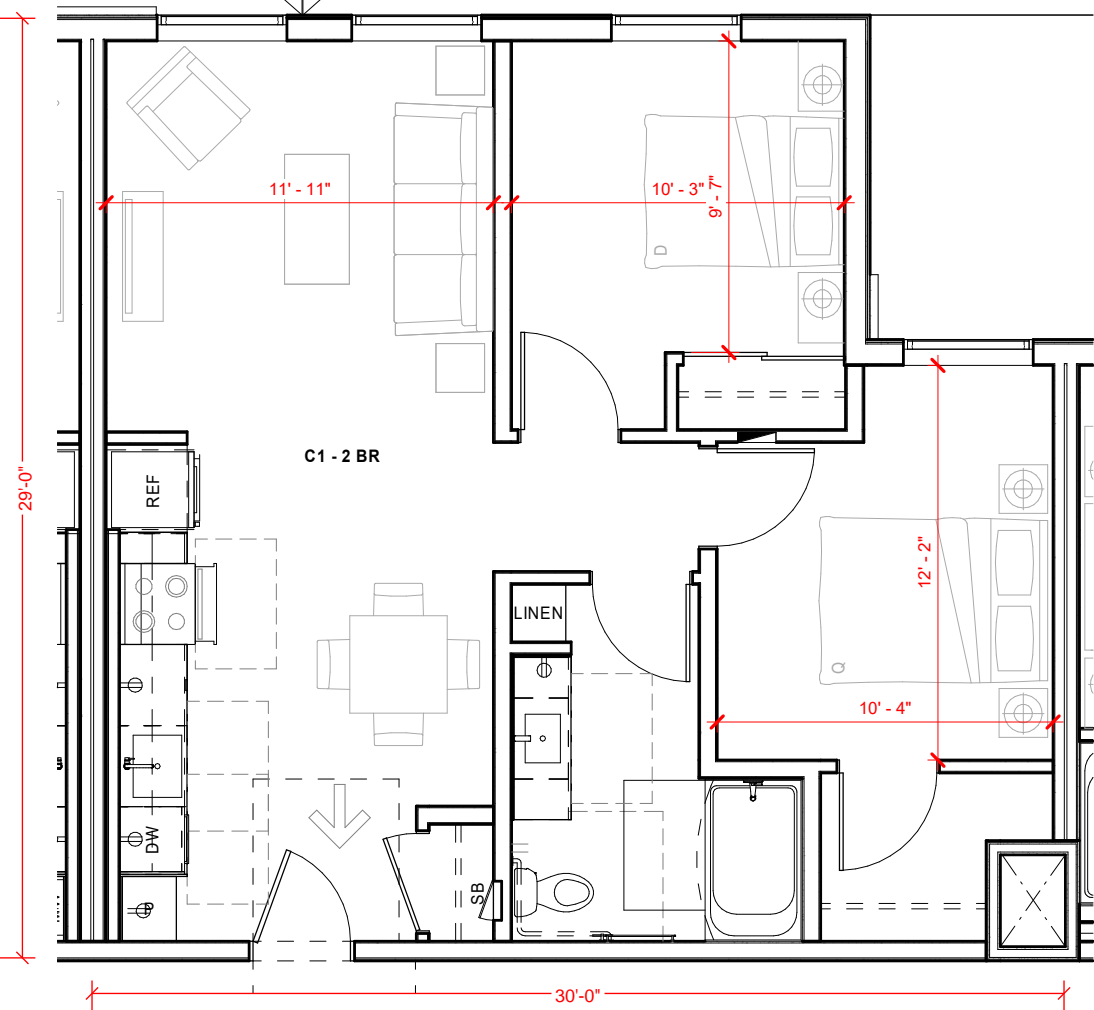
NOT TO SCALE

SAMPLE UNITS

TYP. ONE BR UNIT
630 SF



TYP. TWO BR UNIT
840 SF

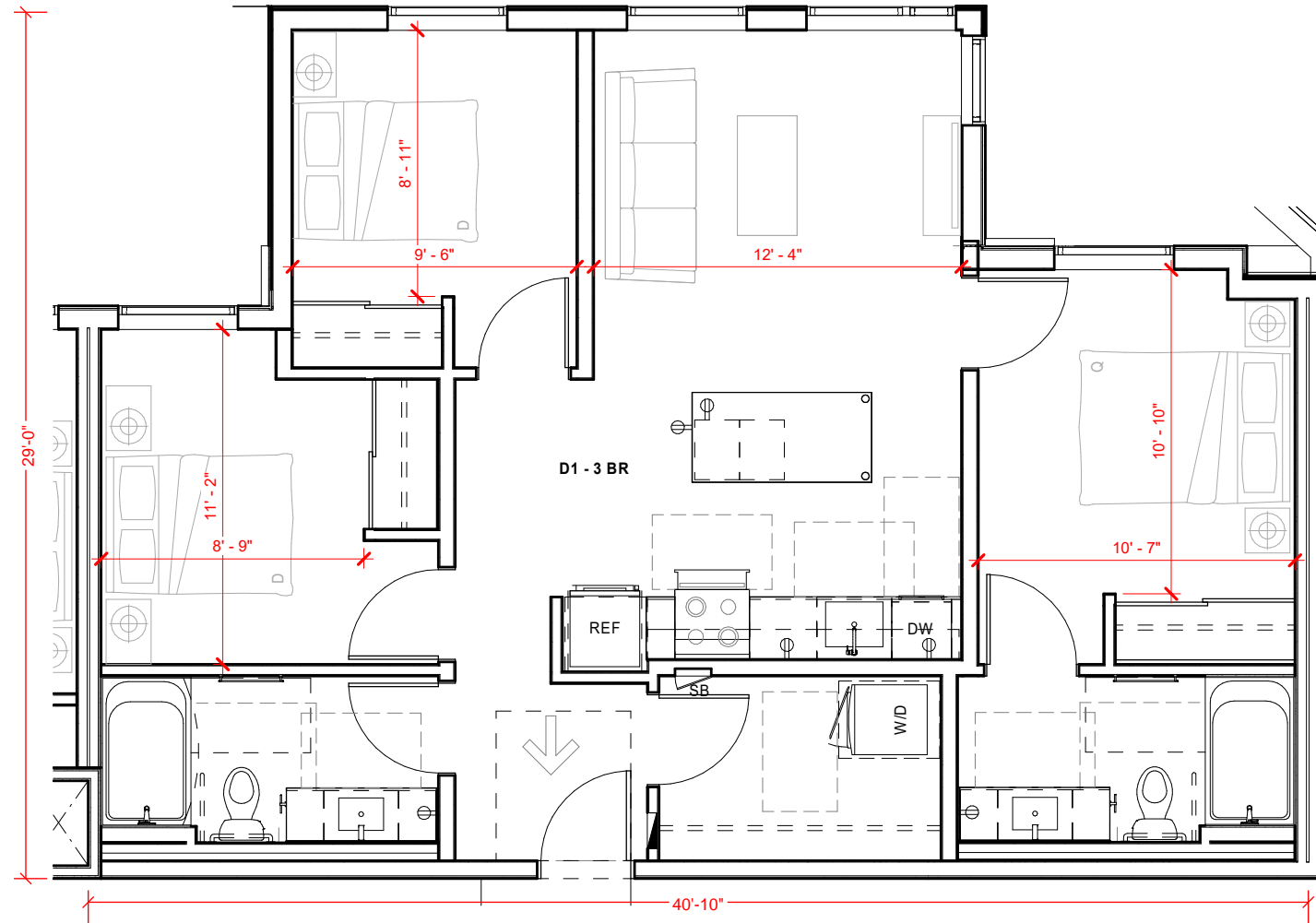


NOTE: THESE UNITS ARE FOR REFERENCE ONLY. WASHERS AND DRYERS WILL BE ADDED TO EACH UNIT PER KCHA REQUIREMENT

SAMPLE UNITS

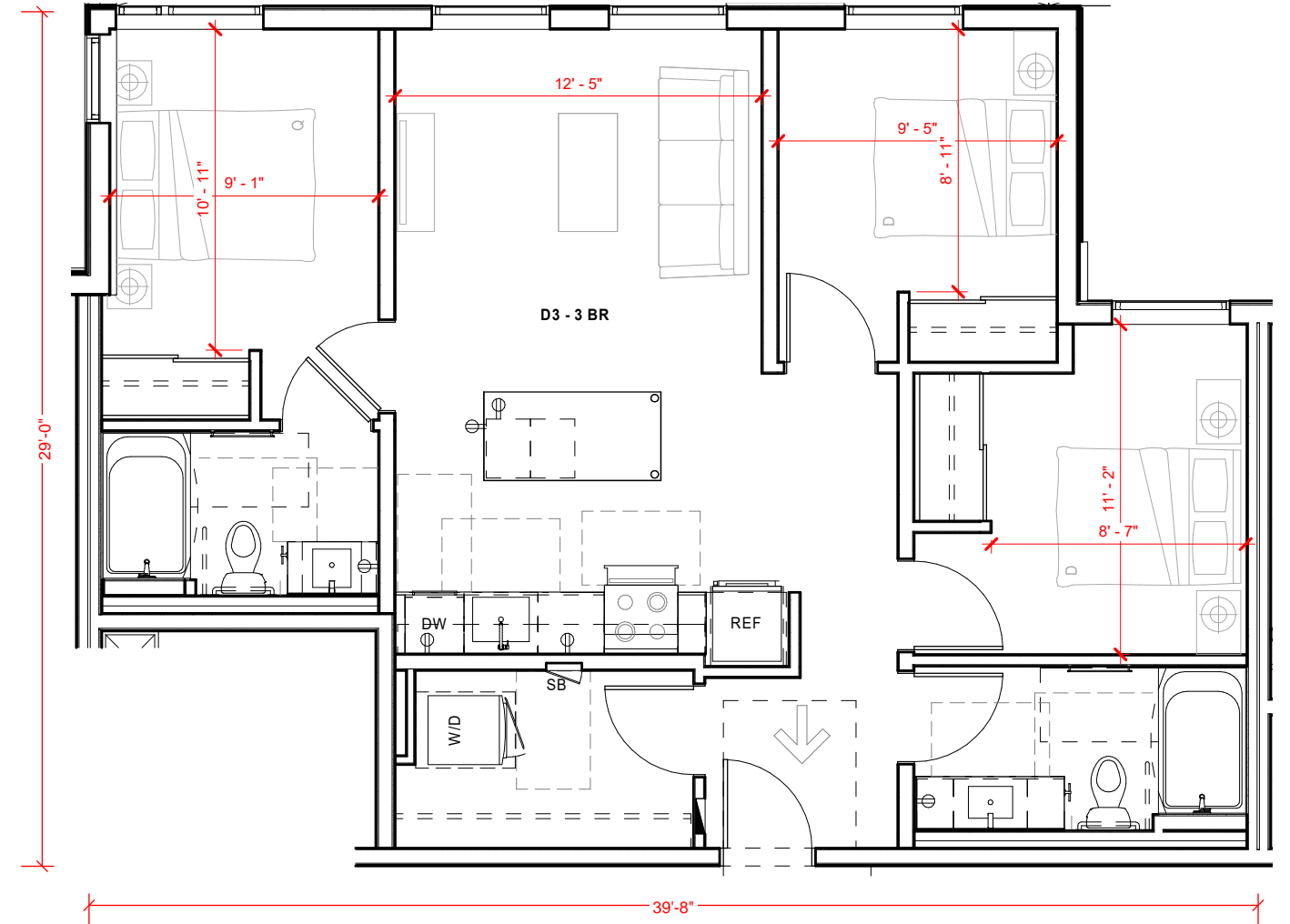
THREE BR UNIT - ALT 1

1050 SF



THREE BR UNIT - ALT 2

1040 SF





THANK YOU



WEBER THOMPSON