

PROJECT MANUAL

PROJECT NAME AND LOCATION:

CASCADIAN APARTMENTS
BUILDING K FIRE RESTORATION

Contract Number: DW2403231

TABLE OF CONTENTS

02	Invitation to Bid (1 Page)
03	Specifications (52 Pages)
04	Plans (11 Sheets)
05	Instruction to Bidders (6 Pages)
06	General Conditions (15 Pages)
07	Bid Form & Bidder Information (4 Pages) – <i>Return with Bid</i>
08	Sample Contract Form (1 Page)
09	Sample Certificate of Insurance (2 Pages)
10	Hazardous Material Report 2024 (14 Pages)

INVITATION TO BID

King County Housing Authority (KCHA) will accept bids from qualified general contractors to furnish labor, materials and necessary equipment to perform the following:

SCOPE OF WORK: Work includes fire restoration at Building K as described in the Contract Documents including, but not limited to, supervision, labor, materials, supplies, equipment, services, MEP permits, engineering, and the manufacture and fabrication of components, performed, furnished, or provided in accordance with the Contract Documents, and other tasks as described in the bid documents.

PROJECT MANUAL DISTRIBUTION:

Address: King County Housing Authority, 600 Andover Park, Seattle, WA 98188
Distribution: * Documents are available for download on KCHA's website at <http://www.kcha.org/business/construction/open/>

PRE-BID CONFERENCE:

Date and Time: January 27, 2025 at 11:00 A.M.
Jobsite Address: Cascadian Apartments, 15517 NE 12th Street, Bellevue, WA 98007.
In Addition: Contractors are strongly encouraged to attend the Pre-Bid Conference. Failure to attend the Conference will not relieve the Contractor of any responsibility for information provided at that time. Bidders must have a current certificate of registration as a contractor for the last three years under the same name and have completed the required L&I training.

For Questions: Questions pertaining to the bid are to be sent via email to MichelleJ@kcha.org no later than seven (7) calendar days prior to bid due date. All responses shall be in the form of Addenda.

Posting: Addenda will be posted on KCHA's website.

BIDS ARE DUE:

Time: **1:00 P.M.**
Date: **February 18, 2025**

Address: King County Housing Authority, 600 Andover Park West, Tukwila, WA 98188
Submittal Process: * Bids may be sent via email to MichelleJ@kcha.org or mail to the above address
Attn.: Michelle Jackson

Process: All Bids must be received by KCHA no later than the above due date and time. No Bids will be accepted after that date and time.

BID GUARANTEE: Not Required.

PERFORMANCE AND PAYMENT BONDS: As a condition of award Performance and Payment bonds for 100% of the Contract Award Amount shall be furnished for the Work.

KCHA is an Equal Employment Opportunity Employer and strongly encourages minority-owned and women-owned businesses, socially and economically disadvantaged businesses, and small businesses to submit bids or to participate as subcontractors and suppliers on KCHA Contracts.

KCHA reserves the right to reject any or all bids or to waive any informality in the bidding. No bid shall be withdrawn for a period of 60 calendar days subsequent to the opening of the bids without the written consent of KCHA.

CONTACT PERSON: Michelle Jackson at MichelleJ@kcha.org

SPECIFICATIONS

**Cascadian Apartments
Building K Fire Restoration**

Contract Number: DW2403231
Page 1 of 7

SECTION 01010 - SUMMARY

PART 1 - GENERAL

1.1 WORK COVERED BY CONTRACT DOCUMENTS

- A. Project Identification: Cascadian Building K Fire Restoration
- B. Project Location: Cascadian Apartments, 15517 NE 12th Street, Bellevue, WA 98007
 - 1. Building K, Units 125, 126, 225, 226, 325, 326, Common Hallways and Stairs
- C. The Work consists of fire restoration at Building K as described in the Contract Documents including, but is not limited to, supervision, labor, materials, supplies, equipment, services, MEP permits, engineering, and the manufacture and fabrication of components, performed, furnished, or provided in accordance with the Contract Documents.
- D. Products included in the Cascadian Products List are to be used when called out.

1.2 WORK SEQUENCE

- A. The Work shall be completed in 180 calendar days from the date of Notice to Proceed.
- B. Contractor will submit written schedule outlining dates and duration of job including:
 - 1. Construction start date
 - 2. Schedule for work
 - 3. Anticipated final completion date

1.3 LIQUIDATED DAMAGES

- A. Liquidated damages will be assessed for each calendar day that the Contractor exceeds the time for completion in the amount of \$500.

1.4 USE OF THE PREMISES

- A. Use of Site: Limit use of premises to work areas. Do not disturb portions of site beyond areas in which the Work is indicated.
 - 1. Owner Occupancy: Allow for resident occupancy of site. Owner will occupy site and existing building during entire construction period. Cooperate with Owner during construction operations to minimize conflicts and facilitate resident usage.

SPECIFICATIONS

**Cascadian Apartments
Building K Fire Restoration**

Contract Number: DW2403231
Page 2 of 7

2. Driveways and Entrances: Keep driveways and entrances serving premises clear and available to residents and emergency vehicles at all times. Do not use these areas for parking or storage of materials.
3. Use of Existing Building: Maintain existing building in a weathertight condition throughout construction period. Repair damage caused by construction operations. Protect property, the buildings and occupants during construction period.

1.5 PERMITS

- A. KCHA is responsible for acquiring the building permit prior to NTP. The plans provided in this package were submitted to the City of Bellevue for the building permit. Any changes made as a result of the permit review that involve added scope or cost will be considered as part of the Change Order process as described in General Conditions. Contractor is responsible for obtaining and paying for all other required permits and for the coordination of all required inspections. Contractor shall be reimbursed the face value of the permit fees plus overhead and profit as indicated in the specifications.

1.6 PAYMENT PROCEDURES

- A. Coordinate preparation of the Schedule of Values with preparation of Contractor's Construction Schedule.
- B. Each Application for Payment shall be consistent with previous applications and payments.
- C. Entries shall match data on the Schedule of Values and Contractor's Construction Schedule. Use updated schedules if revisions were made.
- D. Waivers of Lien: With each Application for Payment, submit conditional waivers lien from every entity who is lawfully entitled to file a lien arising out of the Contract and related to the Work covered by the payment.
 1. Submit partial waivers on each item for amount requested, before deduction for retainage, on each item.
 2. When an application shows completion of an item, submit final or full waivers.
 3. Owner reserves the right to designate which entities involved in the Work must submit waivers.
 - a. Submit final Application for Payment with or preceded by final waivers from every entity involved with performance of the Work covered by the application who is lawfully entitled to a lien.
- E. Final Payment Application: Submit final Application for Payment with releases and close out supporting documentation.

1.7 PROJECT MEETINGS

SPECIFICATIONS

**Cascadian Apartments
Building K Fire Restoration**

Contract Number: DW2403231
Page 3 of 7

- A. Preconstruction Conference: Schedule a preconstruction conference before starting construction, at a time convenient to Owner. Coordinate any long lead material orders to allow for NTP to be issued prior to schedule of Preconstruction Conference.
- B. Progress Meetings: Conduct progress meetings at weekly intervals.

1.8 SUBMITTALS

- A. Subcontract list. Prepare written information that demonstrates capabilities and experience of firm or persons.
- B. Follow Washington Industrial Safety and Health Act (WISHA) regional directives and provide a site-specific safety program that will require an accident prevention and hazard analysis plan for the contractor and each subcontractor on the work site. The Contractor shall submit a site-specific Accident Prevention Program (APP) to the Owner's representative prior to the initial scheduled construction meeting.
- C. Site specific safety plan shall adhere to all federal, state and local requirements.

1.9 TEMPORARY FACILITIES

- A. Sanitary Facilities: Provide temporary toilets, wash facilities, and drinking-water fixtures. Comply with regulations and health codes for type, number, location, operation, and maintenance of fixtures and facilities.
- B. Use of Owner's existing electric power and water service will be permitted.
- C. Four parking spaces and an additional lay down area shall be available to the contractor for storage containers and parking. Do not park in marked tenant spaces.

1.10 EXECUTION REQUIREMENTS

- A. General: Clean Project site and work areas daily, including common areas. Coordinate progress cleaning for joint-use areas where more than one installer has worked. Enforce requirements strictly. Dispose of materials lawfully.

1.11 CUTTING AND PATCHING

- A. Quality Assurance
 - 1. Structural Elements: Do not cut and patch structural elements in a manner that could change their load-carrying capacity or load-deflection ratio.
 - 2. Visual Requirements: Do not cut and patch construction in a manner that results in visual evidence of cutting and patching. Do not cut and patch construction exposed on the exterior or in occupied spaces in a manner that would, in Owner's opinion, reduce the building's

SPECIFICATIONS

**Cascadian Apartments
Building K Fire Restoration**

Contract Number: DW2403231
Page 4 of 7

aesthetic qualities. Remove and replace construction that has been cut and patched in a visually unsatisfactory manner.

B. Performance

1. Cutting: Cut existing construction by sawing, drilling, breaking, chipping, grinding, and similar operations, including excavation, using methods least likely to damage elements retained or adjoining construction. If possible, review proposed procedures with original Installer; comply with original Installer's written recommendations.
2. Patching: Patch construction by filling, repairing, refinishing, closing up, and similar operations following performance of other Work. Patch with durable seams that are as invisible as possible. Provide materials and comply with installation requirements specified in other Sections of these Specifications.
 - a. Exposed Finishes: Restore exposed finishes of patched areas and extend finish restoration into retained adjoining construction in a manner that will eliminate evidence of patching and refinishing.
 - b. Exterior Building Enclosure: Patch components in a manner that restores enclosure to a weathertight condition.

1.12 CLOSEOUT PROCEDURES

- A. General: Provide final cleaning. Conduct cleaning and waste-removal operations to comply with local laws and ordinances and Federal and local environmental and antipollution regulations.
 1. Prior to acceptance of the work in all locations, clean project site, yard, and grounds, in areas disturbed by construction activities, including landscape development areas, of rubbish, waste material, litter, and other foreign substances.
- B. Prior to final acceptance and final payment
 1. Submit a written warranty covering labor and materials for a period of two (2) years from final completion.

PART 2 - PRODUCTS (not used)

PART 3 - EXECUTION (not used)

END OF SECTION 01100

SPECIFICATIONS

**Cascadian Apartments
Building K Fire Restoration**

Contract Number: DW2403231
Page 5 of 7

SECTION 01524 - CONSTRUCTION WASTE MANAGEMENT

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes: Administrative and procedural requirements for construction waste management activities.
- B. All materials removed are to be legally disposed of off-site.

1.2 QUALITY ASSURANCE

- A. Regulatory Requirements: Conduct construction waste management activities in accordance with State of Washington RCW 39.04.13, and all other applicable laws and ordinances.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 REMOVAL OF CONSTRUCTION WASTE MATERIALS

- A. Remove CDL waste materials from project site on a regular basis. Do not allow CDL waste to accumulate on-site.
- B. Transport CDL waste materials off Owner's property and legally dispose of them.
- C. Burning of CDL waste is not permitted.

END OF SECTION 01524

SPECIFICATIONS

**Cascadian Apartments
Building K Fire Restoration**

Contract Number: DW2403231
Page 6 of 7

SECTION 01732 - SELECTIVE DEMOLITION

PART 1 - GENERAL

1.1 SUMMARY

- A. This Section includes demolition, and removal and replacement.

1.2 MATERIALS OWNERSHIP

- A. Except for items or materials indicated to be reused, salvaged, reinstalled, or otherwise indicated to remain Owner's property, demolished materials shall become Contractor's property and shall be removed from Project site.

1.3 PROJECT CONDITIONS

- A. Owner will occupy portions of building immediately adjacent to selective demolition area. Conduct selective demolition so Owner's operations will not be disrupted. Provide not less than 72-hours' notice to Owner of activities that will affect Owner's operations.
- B. Maintain access to existing walkways, corridors, and other adjacent occupied or used facilities.
 - 1. Do not close or obstruct walkways, corridors, or other occupied or used facilities without written permission from authorities having jurisdiction.
- C. Owner assumes no responsibility for condition of areas to be selectively demolished.
 - 1. Conditions existing at time of inspection for bidding purpose will be maintained by Owner as far as practical.
- D. Hazardous Materials
 - 1. ACM Reports provided by Vanguard Environmental Testing are included in the Bid documents. Assume the presence of hazardous materials in all noted locations unless otherwise proven through testing.
 - 2. Comply with all applicable laws regarding removal and disposal of hazardous materials.
 - 3. If materials not identified in the report are suspected of containing hazardous materials are encountered, do not disturb and immediately notify Owner.
- E. Utility Service: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations.

PART 2 - PRODUCTS

SPECIFICATIONS

**Cascadian Apartments
Building K Fire Restoration**

Contract Number: DW2403231
Page 7 of 7

2.1 REPAIR MATERIALS

- A. Use repair materials identical to existing materials.
 - 1. If identical materials are unavailable or cannot be used for exposed surfaces, use materials that visually match existing adjacent surfaces to the fullest extent possible.
 - 2. Use materials whose installed performance equals or surpasses that of existing materials.
 - 3. Refer to Cascadian Products List for specified finished materials.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required.

3.2 UTILITY SERVICES

- A. Existing Utilities: Maintain services indicated to remain and protect them against damage during selective demolition operations.

3.3 PREPARATION

- A. Site Access and Temporary Controls: Conduct selective demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities.
 - 1. Do not close or obstruct streets, walks, walkways, or other adjacent occupied or used facilities without permission from Owner and authorities having jurisdiction. Provide alternate routes around closed or obstructed traffic ways if required by governing regulations.
 - 2. Erect temporary protection, such as walks, fences, railings, canopies, and covered passageways, where required by authorities having jurisdiction.
 - 3. Protect existing site improvements, appurtenances, and landscaping to remain.

3.4 SELECTIVE DEMOLITION

- A. General: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the Work within limitations of governing regulations.

END OF SECTION 01732



Zaremba Claims Service - Yakima

P.O. Box 87
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Insured: King County Housing Authority
Property: 15517 NE 12th Street
Belevue, WA 98007

Home: (206) 574-1296

Claim Rep.: Jack Van Arsdale
Company: Housing Enterprise Insurance Company Inc.

Business: (800) 873-0242 x 410
E-mail: jvanarsdale@housingcenter.com

Estimator: Craig Nance
Company: Zaremba Claims Service - Yakima

Business: (509) 452-6527
E-mail: cnance@zclaims.com

Claim Number: A8NB5

Policy Number: HAPI-458-235946-2023

Type of Loss: Fire

Date Contacted: 4/18/2024 10:00 AM

Date of Loss: 4/3/2024 10:00 AM

Date Inspected: 4/19/2024 10:00 AM

Date Received: 4/18/2024 5:30 AM

Date Entered: 4/26/2024 12:16 PM

Price List: KINGPWJUL_24
Restoration/Service/Remodel

Estimate: KING_COUNTY_H_A

This is an estimate of observed damages and is subject to review and final approval by the insurance company.



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KING_COUNTY_H_A

Apartment 125



Living Room/Dining Room

Height: 7' 10"

549.28 SF Walls	281.10 SF Ceiling
830.38 SF Walls & Ceiling	281.10 SF Floor
31.23 SY Flooring	69.76 LF Floor Perimeter
72.18 LF Ceil. Perimeter	

Missing Wall - Goes to Floor

2' 5" X 6' 8"

Opens into KITCHEN

Missing Wall

3' 9 7/8" X 7' 10"

Opens into HALLWAY

DESCRIPTION

QTY

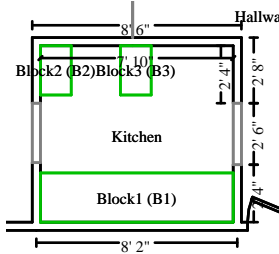
1. Batt insulation - 4" - R11- unfaced batt	325.33 SF
2. 5/8" drywall - hung, taped, floated, ready for paint	373.33 SF
3. Texture drywall - light hand texture	373.33 SF
4. Seal the ceiling w/latex based stain blocker - one coat	281.10 SF
5. Acoustic ceiling (popcorn) texture	281.10 SF
6. Seal/prime (1 coat) then paint (1 coat) the surface area	373.33 SF
7. Paint part of the walls - one coat	175.95 SF
8. Mask and prep for paint - plastic, paper, tape (per LF)	72.18 LF
9. Snaplock Laminate - simulated wood flooring	281.10 SF
10. Baseboard - 2 1/4" MDF - flat profile	69.76 LF
11. Paint baseboard - two coats	69.76 LF
12. Interior door - Detach & reset - slab only	5.00 EA
13. Final cleaning - construction - Commercial	281.10 SF

NOTES:



Zarembo Claims Service - Yakima

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Kitchen

Height: 7' 10"

202.22 SF Walls	56.14 SF Ceiling
258.36 SF Walls & Ceiling	56.14 SF Floor
6.24 SY Flooring	25.08 LF Floor Perimeter
30.00 LF Ceil. Perimeter	

Missing Wall - Goes to Floor

2' 6" X 6' 8"

Opens into HALLWAY

Missing Wall - Goes to Floor

2' 5" X 6' 8"

Opens into LIVING_ROOM_

DESCRIPTION

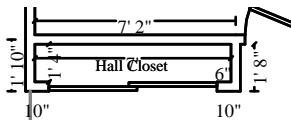
QTY

14. Countertop - flat laid plastic laminate - Reset	10.83 LF
15. Sink - single - Reset	1.00 EA
16. Cabinetry - lower (base) units - Reset	10.83 LF
17. Seal/prime (1 coat) then paint (1 coat) the walls and ceiling	258.36 SF
18. Mask and prep for paint - plastic, paper, tape (per LF)	30.00 LF
19. Final cleaning - construction - Commercial	56.14 SF

NOTES:

Hall Closet

Height: 7' 10"



130.74 SF Walls	9.41 SF Ceiling
140.15 SF Walls & Ceiling	9.41 SF Floor
1.05 SY Flooring	16.69 LF Floor Perimeter
16.69 LF Ceil. Perimeter	

DESCRIPTION

QTY

20. Snaplock Laminate - simulated wood flooring	9.41 SF
21. Paint the walls - one coat	130.74 SF
22. Mask and prep for paint - plastic, paper, tape (per LF)	16.69 LF
23. Baseboard - 2 1/4" MDF - flat profile	16.69 LF
24. Paint baseboard - two coats	16.69 LF
25. Final cleaning - construction - Commercial	9.41 SF



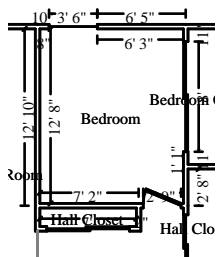
Zaremba Claims Service - Yakima

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CONTINUED - Hall Closet

DESCRIPTION	QTY
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NOTES:



Bedroom

Height: 7' 10"

361.64 SF Walls	131.94 SF Ceiling
493.58 SF Walls & Ceiling	131.94 SF Floor
14.66 SY Flooring	46.17 LF Floor Perimeter
46.17 LF Ceil. Perimeter	

DESCRIPTION	QTY
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26. Carpet 15 % waste added for Carpet.	151.74 SF
27. Carpet pad	131.94 SF
28. Paint baseboard - one coat	46.17 LF
29. Paint the walls - one coat	361.64 SF
30. Mask and prep for paint - plastic, paper, tape (per LF)	46.17 LF
31. Interior door - Detach & reset - slab only	5.00 EA
32. Final cleaning - construction - Commercial	131.94 SF

NOTES:



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Bedroom Closet

Height: 7' 10"

188.00 SF Walls	21.31 SF Ceiling
209.31 SF Walls & Ceiling	21.31 SF Floor
2.37 SY Flooring	24.00 LF Floor Perimeter
24.00 LF Ceil. Perimeter	

DESCRIPTION

QTY

33. Carpet	24.50 SF
15 % waste added for Carpet.	
34. Carpet pad	21.31 SF
35. Paint baseboard - one coat	24.00 LF
36. Mask and prep for paint - plastic, paper, tape (per LF)	24.00 LF
37. Final cleaning - construction - Commercial	21.31 SF

NOTES:



Hall Closet 2

Height: 7' 10"

164.50 SF Walls	18.06 SF Ceiling
182.56 SF Walls & Ceiling	18.06 SF Floor
2.01 SY Flooring	21.00 LF Floor Perimeter
21.00 LF Ceil. Perimeter	

DESCRIPTION

QTY

38. Snaplock Laminate - simulated wood flooring	18.06 SF
39. Paint the walls - one coat	164.50 SF
40. Mask and prep for paint - plastic, paper, tape (per LF)	21.00 LF
41. Baseboard - 2 1/4" MDF - flat profile	21.00 LF
42. Paint baseboard - two coats	21.00 LF
43. Final cleaning - construction - Commercial	18.06 SF



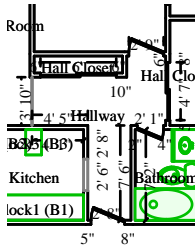
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CONTINUED - Hall Closet 2

DESCRIPTION **QTY**

NOTES:



Hallway

Height: 7' 10"

324.17 SF Walls	71.25 SF Ceiling
395.42 SF Walls & Ceiling	71.25 SF Floor
7.92 SY Flooring	41.01 LF Floor Perimeter
43.51 LF Ceil. Perimeter	

Missing Wall **3' 9 7/8" X 7' 10"** **Opens into LIVING_ROOM_**
Missing Wall - Goes to Floor **2' 6" X 6' 8"** **Opens into KITCHEN**

DESCRIPTION **QTY**

44. Final cleaning - construction - Commercial 71.25 SF

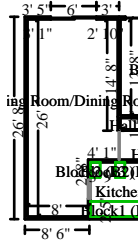
NOTES:

Apartment 225



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Living Room/Dining Room

Height: 7' 10"

549.28 SF Walls	281.10 SF Ceiling
830.38 SF Walls & Ceiling	281.10 SF Floor
31.23 SY Flooring	69.76 LF Floor Perimeter
72.18 LF Ceil. Perimeter	

Missing Wall - Goes to Floor

2' 5" X 6' 8"

Opens into KITCHEN

Missing Wall

3' 9 7/8" X 7' 10"

Opens into HALLWAY

DESCRIPTION

QTY

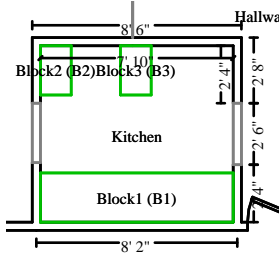
45. Stud wall - 2" x 4" - 16" oc	48.00 SF
46. Carpenter - General Framer - per hour	4.00 HR
Additional labor to R & R wall studs	
47. Batt insulation - 4" - R11- unfaced batt	606.43 SF
48. 5/8" drywall - hung, taped, floated, ready for paint	654.43 SF
49. Texture drywall - light hand texture	654.43 SF
50. Seal the ceiling w/latex based stain blocker - one coat	281.10 SF
51. Acoustic ceiling (popcorn) texture	281.10 SF
52. Seal/prime (1 coat) then paint (1 coat) the walls	549.28 SF
53. Mask and prep for paint - plastic, paper, tape (per LF)	72.18 LF
54. Snaplock Laminate - simulated wood flooring	281.10 SF
55. Baseboard - 2 1/4" MDF - flat profile	69.76 LF
56. Paint baseboard - two coats	69.76 LF
57. Interior door - Detach & reset - slab only	5.00 EA
58. Light fixture	2.00 EA
59. Final cleaning - construction - Commercial	281.10 SF

NOTES:



Zaremba Claims Service - Yakima

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Kitchen

Height: 7' 10"

202.22 SF Walls	56.14 SF Ceiling
258.36 SF Walls & Ceiling	56.14 SF Floor
6.24 SY Flooring	25.08 LF Floor Perimeter
30.00 LF Ceil. Perimeter	

Missing Wall - Goes to Floor

2' 6" X 6' 8"

Opens into HALLWAY

Missing Wall - Goes to Floor

2' 5" X 6' 8"

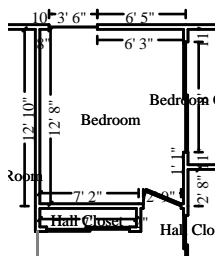
Opens into LIVING_ROOM_

DESCRIPTION

QTY

60. Seal/prime (1 coat) then paint (1 coat) the walls and ceiling	258.36 SF
61. Mask and prep for paint - plastic, paper, tape (per LF)	30.00 LF
62. Snaplock Laminate - simulated wood flooring	56.14 SF
63. Cove base molding - rubber or vinyl, 4" high	25.08 LF
64. Final cleaning - construction - Commercial	56.14 SF

NOTES:



Bedroom

Height: 7' 10"

361.64 SF Walls	131.94 SF Ceiling
493.58 SF Walls & Ceiling	131.94 SF Floor
14.66 SY Flooring	46.17 LF Floor Perimeter
46.17 LF Ceil. Perimeter	

DESCRIPTION

QTY

65. Snaplock Laminate - simulated wood flooring	131.94 SF
66. Paint baseboard - one coat	46.17 LF
67. Paint the walls - one coat	361.64 SF
68. Mask and prep for paint - plastic, paper, tape (per LF)	46.17 LF
69. Interior door - Detach & reset - slab only	5.00 EA
70. Final cleaning - construction - Commercial	131.94 SF



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CONTINUED - Bedroom

DESCRIPTION **QTY**

NOTES:



Bedroom Closet

Height: 7' 10"

188.00 SF Walls	21.31 SF Ceiling
209.31 SF Walls & Ceiling	21.31 SF Floor
2.37 SY Flooring	24.00 LF Floor Perimeter
24.00 LF Ceil. Perimeter	

DESCRIPTION **QTY**

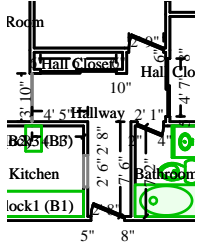
71. Snaplock Laminate - simulated wood flooring	21.31 SF
72. Paint baseboard - one coat	24.00 LF
73. Mask and prep for paint - plastic, paper, tape (per LF)	24.00 LF
74. Final cleaning - construction - Commercial	21.31 SF

NOTES:



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Hallway

Height: 7' 10"

324.17 SF Walls	71.25 SF Ceiling
395.42 SF Walls & Ceiling	71.25 SF Floor
7.92 SY Flooring	41.01 LF Floor Perimeter
43.51 LF Ceil. Perimeter	

Missing Wall	3' 9 7/8" X 7' 10"	Opens into LIVING_ROOM_
Missing Wall - Goes to Floor	2' 6" X 6' 8"	Opens into KITCHEN

DESCRIPTION	QTY
75. Final cleaning - construction - Commercial	71.25 SF

NOTES:

Apartment 325



Living Room/Dining Room

Height: 7' 10"

549.28 SF Walls	281.10 SF Ceiling
830.38 SF Walls & Ceiling	281.10 SF Floor
31.23 SY Flooring	69.76 LF Floor Perimeter
72.18 LF Ceil. Perimeter	

Missing Wall - Goes to Floor	2' 5" X 6' 8"	Opens into KITCHEN
Missing Wall	3' 9 7/8" X 7' 10"	Opens into HALLWAY

DESCRIPTION	QTY
76. Stud wall - 2" x 4" - 16" oc	48.00 SF
77. Carpenter - General Framer - per hour	4.00 HR
Additional labor to R & R wall studs	
78. Seal stud wall for odor control	325.33 SF
79. Seal floor or ceiling joist system	281.10 SF
80. Batt insulation - 4" - R11- unfaced batt	606.43 SF
81. 5/8" drywall - hung, taped, floated, ready for paint	654.43 SF
82. Texture drywall - light hand texture	373.33 SF



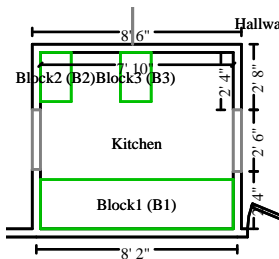
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CONTINUED - Living Room/Dining Room

DESCRIPTION	QTY
83. Seal the ceiling w/latex based stain blocker - one coat	281.10 SF
84. Acoustic ceiling (popcorn) texture	281.10 SF
85. Seal/prime (1 coat) then paint (1 coat) the surface area	373.33 SF
86. Paint part of the walls - one coat	175.95 SF
87. Mask and prep for paint - plastic, paper, tape (per LF)	72.18 LF
88. Snaplock Laminate - simulated wood flooring	281.10 SF
89. Baseboard - 2 1/4" MDF - flat profile	69.76 LF
90. Paint baseboard - two coats	69.76 LF
91. Interior door - Detach & reset - slab only	5.00 EA
92. Light fixture	2.00 EA
93. Final cleaning - construction - Commercial	281.10 SF

NOTES:



Kitchen	Height: 7' 10"
202.22 SF Walls	56.14 SF Ceiling
258.36 SF Walls & Ceiling	56.14 SF Floor
6.24 SY Flooring	25.08 LF Floor Perimeter
30.00 LF Ceil. Perimeter	

Missing Wall - Goes to Floor **2' 6" X 6' 8"** **Opens into HALLWAY**
Missing Wall - Goes to Floor **2' 5" X 6' 8"** **Opens into LIVING_ROOM_**

DESCRIPTION	QTY
94. Seal/prime (1 coat) then paint (1 coat) the walls and ceiling	258.36 SF
95. Mask and prep for paint - plastic, paper, tape (per LF)	30.00 LF
96. Final cleaning - construction - Commercial	56.14 SF



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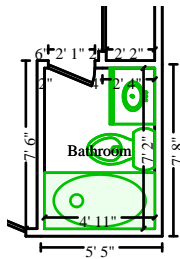
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CONTINUED - Kitchen

DESCRIPTION

QTY

NOTES:



Bathroom

Height: 7' 10"

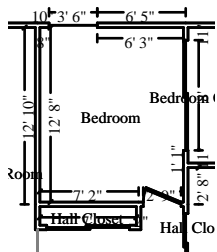
189.31 SF Walls	35.24 SF Ceiling
224.54 SF Walls & Ceiling	35.24 SF Floor
3.92 SY Flooring	24.17 LF Floor Perimeter
24.17 LF Ceil. Perimeter	

DESCRIPTION

QTY

97. Seal/prime (1 coat) then paint (1 coat) the walls and ceiling	224.54 SF
98. Mask and prep for paint - plastic, paper, tape (per LF)	24.17 LF
99. Final cleaning - construction - Commercial	35.24 SF

NOTES:



Bedroom

Height: 7' 10"

361.64 SF Walls	131.94 SF Ceiling
493.58 SF Walls & Ceiling	131.94 SF Floor
14.66 SY Flooring	46.17 LF Floor Perimeter
46.17 LF Ceil. Perimeter	



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P.O. Box 87
 Yakima, WA 98907
 509-452-6527 O
 509-452-7236 F

DESCRIPTION	QTY
100. Paint door slab only - 2 coats (per side)	5.00 EA
101. Seal/prime (1 coat) then paint (1 coat) the walls and ceiling	493.58 SF
102. Mask and prep for paint - plastic, paper, tape (per LF)	46.17 LF
103. Snaplock Laminate - simulated wood flooring	131.94 SF
104. Baseboard - 2 1/4" MDF - flat profile	46.17 LF
105. Paint baseboard - two coats	46.17 LF
106. Interior door - Detach & reset - slab only	5.00 EA
107. Final cleaning - construction - Commercial	131.94 SF

NOTES:



Bedroom Closet

Height: 7' 10"

188.00 SF Walls	21.31 SF Ceiling
209.31 SF Walls & Ceiling	21.31 SF Floor
2.37 SY Flooring	24.00 LF Floor Perimeter
24.00 LF Ceil. Perimeter	

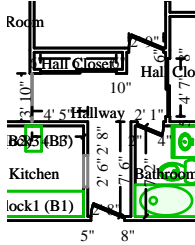
DESCRIPTION	QTY
108. Seal/prime (1 coat) then paint (1 coat) the walls and ceiling	209.31 SF
109. Mask and prep for paint - plastic, paper, tape (per LF)	24.00 LF
110. Snaplock Laminate - simulated wood flooring	21.31 SF
111. Baseboard - 2 1/4" MDF - flat profile	24.00 LF
112. Paint baseboard - two coats	24.00 LF
113. Final cleaning - construction - Commercial	21.31 SF

NOTES:



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P.O. Box 87
 Yakima, WA 98907
 509-452-6527 O
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Hallway

Height: 7' 10"

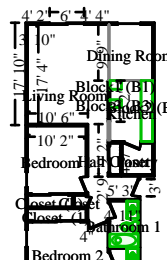
324.17 SF Walls	71.25 SF Ceiling
395.42 SF Walls & Ceiling	71.25 SF Floor
7.92 SY Flooring	41.01 LF Floor Perimeter
43.51 LF Ceil. Perimeter	

Missing Wall	3' 9 7/8" X 7' 10"	Opens into LIVING_ROOM_
Missing Wall - Goes to Floor	2' 6" X 6' 8"	Opens into KITCHEN

DESCRIPTION	QTY
114. Carpet	81.93 SF
15 % waste added for Carpet.	
115. Carpet pad	71.25 SF
116. Seal/prime (1 coat) then paint (1 coat) the walls and ceiling	395.42 SF
117. Mask and prep for paint - plastic, paper, tape (per LF)	43.51 LF
118. Final cleaning - construction - Commercial	71.25 SF

NOTES:

Apartment 126



Living Room

Height: 7' 10"

739.37 SF Walls	323.92 SF Ceiling
1063.29 SF Walls & Ceiling	323.92 SF Floor
35.99 SY Flooring	93.92 LF Floor Perimeter
97.08 LF Ceil. Perimeter	

Missing Wall - Goes to Floor	3' 2" X 6' 8"	Opens into KITCHEN
Missing Wall	9' 9" X 7' 10"	Opens into DINING_ROOM

DESCRIPTION	QTY
119. Carpet	372.50 SF
15 % waste added for Carpet.	
120. Carpet pad	323.92 SF



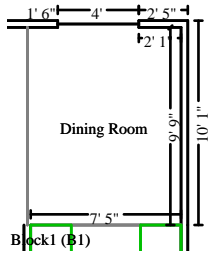
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P.O. Box 87
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CONTINUED - Living Room

DESCRIPTION	QTY
121. Mask and prep for paint - plastic, paper, tape (per LF)	97.08 LF
122. Paint the walls - one coat	739.38 SF
123. Paint baseboard - one coat	93.92 LF
124. Final cleaning - construction - Commercial	323.92 SF

NOTES:



Dining Room

Height: 7' 10"

135.78 SF Walls	73.94 SF Ceiling
209.72 SF Walls & Ceiling	73.94 SF Floor
8.22 SY Flooring	17.33 LF Floor Perimeter
17.33 LF Ceil. Perimeter	

Missing Wall

9' 9" X 7' 10"

Opens into LIVING_ROOM

Missing Wall

7' 5" X 7' 10"

Opens into KITCHEN

DESCRIPTION	QTY
125. Seal the ceiling w/latex based stain blocker - one coat	73.94 SF
126. Acoustic ceiling (popcorn) texture	73.94 SF
127. Mask and prep for paint - plastic, paper, tape (per LF)	17.33 LF
128. Paint the walls - one coat	135.78 SF
129. Paint baseboard - one coat	17.33 LF
130. Carpet	85.03 SF
15 % waste added for Carpet.	
131. Carpet pad	73.94 SF
132. Final cleaning - construction - Commercial	73.94 SF



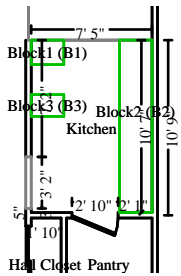
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CONTINUED - Dining Room

DESCRIPTION	QTY
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NOTES:



Kitchen

Height: 7' 10"

202.79 SF Walls	78.49 SF Ceiling
281.28 SF Walls & Ceiling	78.49 SF Floor
8.72 SY Flooring	25.42 LF Floor Perimeter
28.58 LF Ceil. Perimeter	

Missing Wall	7' 5" X 7' 10"	Opens into DINING_ROOM
Missing Wall - Goes to Floor	3' 2" X 6' 8"	Opens into LIVING_ROOM

DESCRIPTION	QTY
-------------	-----

133. Batt insulation - 4" - R11- unfaced batt	100.80 SF
134. 5/8" drywall - hung, taped, floated, ready for paint	100.80 SF
135. Seal/prime (1 coat) then paint (1 coat) the surface area	100.80 SF
136. Paint part of the walls and ceiling - one coat	180.48 SF
137. Texture drywall - light hand texture	100.80 SF
138. Cove base molding - rubber or vinyl, 4" high	10.17 LF
139. Vinyl floor covering (sheet goods)	90.27 SF
15 % waste added for Vinyl floor covering (sheet goods).	
140. Cabinetry - upper (wall) units	10.58 LF
141. Cabinetry - lower (base) units - Reset	10.70 LF
142. Countertop - post formed plastic laminate - Reset	10.58 LF
143. Sink - single - Reset	1.00 EA
144. P-trap assembly - Detach & reset	1.00 EA
145. Plumbing fixture supply line	3.00 EA
146. Final cleaning - construction - Commercial	78.49 SF



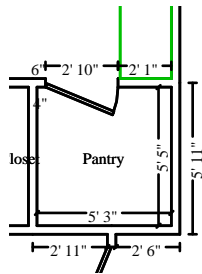
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CONTINUED - Kitchen

DESCRIPTION	QTY
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NOTES:



Pantry

Height: 7' 10"

167.11 SF Walls	28.44 SF Ceiling
195.55 SF Walls & Ceiling	28.44 SF Floor
3.16 SY Flooring	21.33 LF Floor Perimeter
21.33 LF Ceil. Perimeter	

DESCRIPTION	QTY
-------------	-----

147. Batt insulation - 4" - R11- unfaced batt	44.00 SF
148. 5/8" drywall - hung, taped, floated, ready for paint	60.00 SF
149. Seal/prime (1 coat) then paint (1 coat) the surface area	60.00 SF
150. Paint part of the walls and ceiling - one coat	135.55 SF
151. Texture drywall - light hand texture	100.80 SF
152. Cove base molding - rubber or vinyl, 4" high	10.17 LF
153. Vinyl floor covering (sheet goods)	32.70 SF
15 % waste added for Vinyl floor covering (sheet goods).	
154. Water heater - Detach & reset	1.00 EA
155. Final cleaning - construction - Commercial	28.44 SF

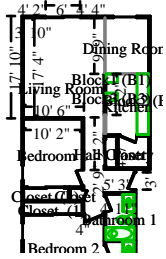
NOTES:

Apartment 226



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 509-452-6527 O
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Living Room

Height: 7' 10"

739.37 SF Walls	323.92 SF Ceiling
1063.29 SF Walls & Ceiling	323.92 SF Floor
35.99 SY Flooring	93.92 LF Floor Perimeter
97.08 LF Ceil. Perimeter	

Missing Wall - Goes to Floor

3' 2" X 6' 8"

Opens into KITCHEN

Missing Wall

9' 9" X 7' 10"

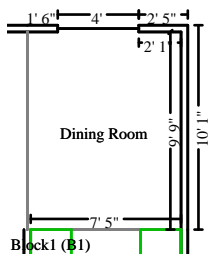
Opens into DINING_ROOM

DESCRIPTION

QTY

156. 5/8" drywall - hung, taped, floated, ready for paint	34.50 SF
157. Batt insulation - 4" - R11- unfaced batt	34.50 SF
158. Acoustic ceiling (popcorn) texture	323.92 SF
159. Seal/prime (1 coat) then paint (1 coat) the walls and ceiling	1063.29 SF
160. Snaplock Laminate - simulated wood flooring	323.92 SF
161. Baseboard - 2 1/4" MDF - flat profile	93.92 LF
162. Paint baseboard - two coats	93.92 LF
163. Mask and prep for paint - plastic, paper, tape (per LF)	97.08 LF
164. Final cleaning - construction - Commercial	323.92 SF

NOTES:



Dining Room

Height: 7' 10"

135.78 SF Walls	73.94 SF Ceiling
209.72 SF Walls & Ceiling	73.94 SF Floor
8.22 SY Flooring	17.33 LF Floor Perimeter
17.33 LF Ceil. Perimeter	

Missing Wall

9' 9" X 7' 10"

Opens into LIVING_ROOM

Missing Wall

7' 5" X 7' 10"

Opens into KITCHEN

DESCRIPTION

QTY

165. Texture drywall - light hand texture	209.72 SF
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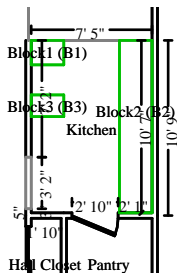
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P.O. Box 87
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CONTINUED - Dining Room

DESCRIPTION	QTY
166. Seal/prime (1 coat) then paint (1 coat) the walls and ceiling	209.72 SF
167. Mask and prep for paint - plastic, paper, tape (per LF)	17.33 LF
168. Snaplock Laminate - simulated wood flooring	73.94 SF
169. 5/8" drywall - hung, taped, floated, ready for paint	209.72 SF
170. Batt insulation - 4" - R11- unfaced batt	212.61 SF
171. Baseboard - 2 1/4" MDF - flat profile	17.33 LF
172. Paint baseboard - two coats	17.33 LF
173. Final cleaning - construction - Commercial	73.94 SF

NOTES:



Kitchen

Height: 7' 10"

202.79 SF Walls	78.49 SF Ceiling
281.28 SF Walls & Ceiling	78.49 SF Floor
8.72 SY Flooring	25.42 LF Floor Perimeter
28.58 LF Ceil. Perimeter	

Missing Wall

7' 5" X 7' 10"

Opens into DINING_ROOM

Missing Wall - Goes to Floor

3' 2" X 6' 8"

Opens into LIVING_ROOM

DESCRIPTION	QTY
174. 5/8" drywall - hung, taped, floated, ready for paint	281.28 SF
175. Batt insulation - 4" - R11- unfaced batt	163.16 SF
176. Texture drywall - light hand texture	281.28 SF
177. Seal/prime (1 coat) then paint (1 coat) the walls and ceiling	281.28 SF
178. Mask and prep for paint - plastic, paper, tape (per LF)	28.58 LF
179. Cabinetry - lower (base) units - Reset	13.42 LF



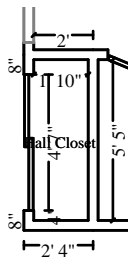
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P.O. Box 87
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 509-452-7236 F

CONTINUED - Kitchen

DESCRIPTION	QTY
180. Cabinetry - upper (wall) units - Reset	21.17 LF
181. Countertop - post formed plastic laminate - Reset	13.42 LF
182. Sink - single - Reset	1.00 EA
183. P-trap assembly - ABS (plastic)	1.00 EA
184. Cove base molding - rubber or vinyl, 4" high	25.42 LF
185. Plumbing fixture supply line	3.00 EA
186. Dishwasher - Reset	1.00 EA
187. Refrigerator - Reset	1.00 EA
188. Range - electric - Reset	1.00 EA
189. Final cleaning - construction - Commercial	78.49 SF

NOTES:



Hall Closet

Height: 7' 10"

113.58 SF Walls	9.93 SF Ceiling
123.51 SF Walls & Ceiling	9.93 SF Floor
1.10 SY Flooring	14.50 LF Floor Perimeter
14.50 LF Ceil. Perimeter	

DESCRIPTION	QTY
190. Snaplock Laminate - simulated wood flooring	9.93 SF
191. Baseboard - 2 1/4" MDF - flat profile	14.50 LF
192. Paint baseboard - two coats	14.50 LF
193. Mask and prep for paint - plastic, paper, tape (per LF)	14.50 LF
194. Final cleaning - construction - Commercial	9.93 SF



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 509-452-6527 O
 509-452-7236 F

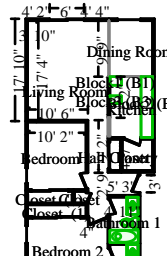
CONTINUED - Hall Closet

DESCRIPTION

QTY

NOTES:

Apartment 326



Living Room

Height: 7' 10"

739.37 SF Walls	323.92 SF Ceiling
1063.29 SF Walls & Ceiling	323.92 SF Floor
35.99 SY Flooring	93.92 LF Floor Perimeter
97.08 LF Ceil. Perimeter	

Missing Wall - Goes to Floor

3' 2" X 6' 8"

Opens into KITCHEN

Missing Wall

9' 9" X 7' 10"

Opens into DINING_ROOM

DESCRIPTION

QTY

195. Rafters - 2x8 - 16" OC (3-5/12 Gable, per SF of floor) Sister all rafters	323.92 SF
196. 5/8" drywall - hung, taped, floated, ready for paint	1063.29 SF
197. Batt insulation - 4" - R11- unfaced batt	575.92 SF
198. Acoustic ceiling (popcorn) texture	323.92 SF
199. Seal/prime (1 coat) then paint (1 coat) the walls and ceiling	1063.29 SF
200. Floor preparation for resilient flooring	21.88 SF
201. Vinyl floor covering (sheet goods) 15 % waste added for Vinyl floor covering (sheet goods).	25.16 SF
202. Interior door - Detach & reset - slab only	3.00 EA
203. Paint door slab only - 2 coats (per side)	6.00 EA
204. Carpet 15 % waste added for Carpet.	347.34 SF
205. Carpet pad	302.04 SF



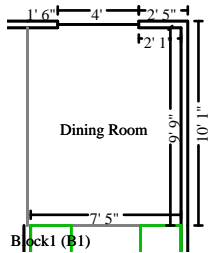
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P.O. Box 87
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 509-452-7236 F

CONTINUED - Living Room

DESCRIPTION	QTY
206. Ductwork - hot or cold air	28.00 LF
207. Window blind - PVC - 3.5" - 32.1 to 42 SF	2.00 EA
208. Final cleaning - construction - Commercial	323.92 SF

NOTES:



Dining Room

Height: 7' 10"

135.78 SF Walls	73.94 SF Ceiling
209.72 SF Walls & Ceiling	73.94 SF Floor
8.22 SY Flooring	17.33 LF Floor Perimeter
17.33 LF Ceil. Perimeter	

Missing Wall

9' 9" X 7' 10"

Opens into LIVING_ROOM

Missing Wall

7' 5" X 7' 10"

Opens into KITCHEN

DESCRIPTION	QTY
209. 5/8" drywall - hung, taped, floated, ready for paint	209.72 SF
210. Batt insulation - 4" - R11- unfaced batt	209.72 SF
211. Acoustic ceiling (popcorn) texture	73.94 SF
212. Seal/prime (1 coat) then paint (1 coat) the walls and ceiling	209.72 SF
213. Casing - 2 1/4"	20.00 LF
214. Paint casing - two coats	20.00 LF
215. Carpet	59.87 SF
15 % waste added for Carpet.	
216. Carpet pad	52.06 SF
217. Final cleaning - construction - Commercial	73.94 SF



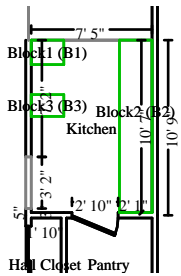
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P.O. Box 87
 Yakima, WA 98907
 509-452-6527 O
 509-452-7236 F

CONTINUED - Dining Room

DESCRIPTION	QTY
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NOTES:



Kitchen

Height: 7' 10"

202.79 SF Walls	78.49 SF Ceiling
281.28 SF Walls & Ceiling	78.49 SF Floor
8.72 SY Flooring	25.42 LF Floor Perimeter
28.58 LF Ceil. Perimeter	

Missing Wall

7' 5" X 7' 10"

Opens into DINING_ROOM

Missing Wall - Goes to Floor

3' 2" X 6' 8"

Opens into LIVING_ROOM

DESCRIPTION	QTY
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218. Wire - average residence - copper wiring	78.49 SF
219. Stud wall - 2" x 4" - 16" oc	48.00 SF
220. 5/8" drywall - hung, taped, floated, ready for paint	281.28 SF
221. Batt insulation - 4" - R11- unfaced batt	163.16 SF
222. Acoustic ceiling (popcorn) texture	78.49 SF
223. Seal/prime (1 coat) then paint (1 coat) the walls and ceiling	281.28 SF
224. Underlayment - 1/2" BC plywood	78.49 SF
225. Floor preparation for resilient flooring	78.49 SF
226. Vinyl floor covering (sheet goods)	90.27 SF
15 % waste added for Vinyl floor covering (sheet goods).	
227. Cabinetry - lower (base) units	13.42 LF
228. Cabinetry - upper (wall) units	21.17 LF
229. Countertop - post formed plastic laminate - Reset	13.42 LF
230. Sink - single - Reset	1.00 EA
231. P-trap assembly - ABS (plastic)	1.00 EA



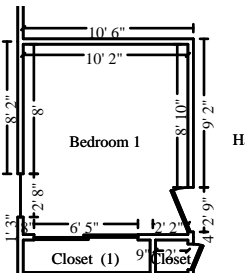
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P.O. Box 87
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 509-452-6527 O
 509-452-7236 F

CONTINUED - Kitchen

DESCRIPTION	QTY
232. Cove base molding - rubber or vinyl, 4" high	25.42 LF
233. Plumbing fixture supply line	3.00 EA
234. Dishwasher - Reset	1.00 EA
235. Refrigerator - Reset	1.00 EA
236. Range - electric - Reset	1.00 EA
237. Fluorescent light fixture	4.00 EA
238. Final cleaning - construction - Commercial	78.49 SF

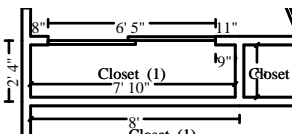
NOTES:



Bedroom 1

Height: 7' 10"

343.36 SF Walls	119.46 SF Ceiling
462.82 SF Walls & Ceiling	119.46 SF Floor
13.27 SY Flooring	43.83 LF Floor Perimeter
43.83 LF Ceil. Perimeter	



Subroom: Closet (1)

Height: 7' 10"

154.06 SF Walls	15.67 SF Ceiling
169.72 SF Walls & Ceiling	15.67 SF Floor
1.74 SY Flooring	19.67 LF Floor Perimeter
19.67 LF Ceil. Perimeter	

DESCRIPTION	QTY
239. 5/8" drywall - hung, taped, floated, ready for paint	135.13 SF
240. Batt insulation - 4" - R11- unfaced batt	135.13 SF



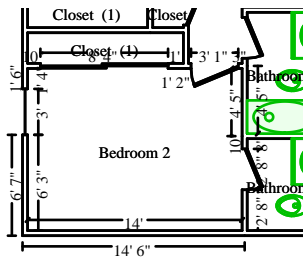
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 509-452-7236 F

CONTINUED - Bedroom 1

DESCRIPTION	QTY
241. Acoustic ceiling (popcorn) texture	135.13 SF
242. Seal/prime (1 coat) then paint (1 coat) the walls and ceiling	632.54 SF
243. Carpet	155.39 SF
15 % waste added for Carpet.	
244. Carpet pad	135.13 SF
245. Window blind - horizontal or vertical - Detach & reset	1.00 EA
246. Interior door - Detach & reset - slab only	4.00 EA
247. Paint door slab only - 2 coats (per side)	8.00 EA
248. Baseboard - 3 1/4" MDF - flat profile	63.50 LF
249. Paint baseboard - two coats	63.50 LF
250. Mask and prep for paint - plastic, paper, tape (per LF)	63.50 LF
251. Final cleaning - construction - Commercial	135.13 SF

NOTES:



Bedroom 2

Height: 7' 10"

385.14 SF Walls	148.17 SF Ceiling
533.31 SF Walls & Ceiling	148.17 SF Floor
16.46 SY Flooring	49.17 LF Floor Perimeter
49.17 LF Ceil. Perimeter	

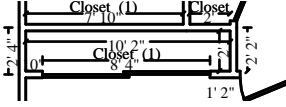


Zaremba Claims Service - Yakima

P.O. Box 87
 Yakima, WA 98907
 509-452-6527 O
 509-452-7236 F

Subroom: Closet (1)

Height: 7' 10"



190.61 SF Walls	20.33 SF Ceiling
210.94 SF Walls & Ceiling	20.33 SF Floor
2.26 SY Flooring	24.33 LF Floor Perimeter
24.33 LF Ceil. Perimeter	

DESCRIPTION

QTY

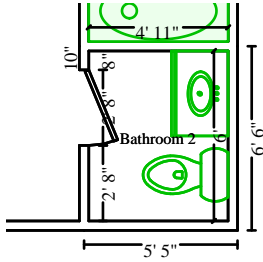
252. Rafters - 2x8 - 16" OC (3-5/12 Gable, per SF of floor) Sister all rafters	168.50 SF
253. 5/8" drywall - hung, taped, floated, ready for paint	168.50 SF
254. Batt insulation - 4" - R11- unfaced batt	168.50 SF
255. Acoustic ceiling (popcorn) texture	168.50 SF
256. Seal/prime (1 coat) then paint (1 coat) the walls and ceiling	744.25 SF
257. Carpet 15 % waste added for Carpet.	193.78 SF
258. Carpet pad	168.50 SF
259. Window blind - horizontal or vertical - Detach & reset	1.00 EA
260. Interior door - Detach & reset - slab only	4.00 EA
261. Paint door slab only - 2 coats (per side)	8.00 EA
262. Baseboard - 3 1/4" MDF - flat profile	73.50 LF
263. Paint baseboard - two coats	73.50 LF
264. Mask and prep for paint - plastic, paper, tape (per LF)	73.50 LF
265. Final cleaning - construction - Commercial	168.50 SF

NOTES:



Zaremba Claims Service - Yakima

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Bathroom 2

Height: 7' 10"

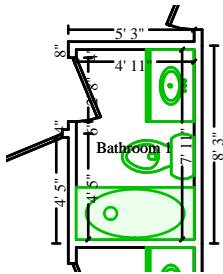
171.03 SF Walls	29.50 SF Ceiling
200.53 SF Walls & Ceiling	29.50 SF Floor
3.28 SY Flooring	21.83 LF Floor Perimeter
21.83 LF Ceil. Perimeter	

DESCRIPTION

QTY

266. Seal/prime (1 coat) then paint (1 coat) the walls and ceiling	200.53 SF
267. Mask and prep for paint - plastic, paper, tape (per LF)	21.83 LF
268. Detach & Reset Light fixture	1.00 EA
269. Final cleaning - construction - Commercial	29.50 SF

NOTES:



Bathroom 1

Height: 7' 10"

201.06 SF Walls	38.92 SF Ceiling
239.98 SF Walls & Ceiling	38.92 SF Floor
4.32 SY Flooring	25.67 LF Floor Perimeter
25.67 LF Ceil. Perimeter	

DESCRIPTION

QTY

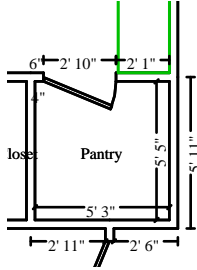
270. Seal/prime (1 coat) then paint (1 coat) the walls and ceiling	239.98 SF
271. Mask and prep for paint - plastic, paper, tape (per LF)	25.67 LF
272. Detach & Reset Light fixture	1.00 EA
273. Final cleaning - construction - Commercial	38.92 SF

NOTES:



Zaremba Claims Service - Yakima

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Pantry

Height: 7' 10"

167.11 SF Walls	28.44 SF Ceiling
195.55 SF Walls & Ceiling	28.44 SF Floor
3.16 SY Flooring	21.33 LF Floor Perimeter
21.33 LF Ceil. Perimeter	

DESCRIPTION

QTY

274. Seal/prime (1 coat) then paint (1 coat) the walls and ceiling	195.55 SF
275. Mask and prep for paint - plastic, paper, tape (per LF)	21.33 LF
276. Interior door - Detach & reset - slab only	1.00 EA
277. Water heater - Detach & reset	1.00 EA
278. Underlayment - 1/2" BC plywood	28.44 SF
279. Floor preparation for resilient flooring	28.44 SF
280. Vinyl floor covering (sheet goods)	32.70 SF
15 % waste added for Vinyl floor covering (sheet goods).	
281. Final cleaning - construction - Commercial	28.44 SF

NOTES:

General Conditions

Roof

DESCRIPTION

QTY

282. Chinook Building estimate	1.00 EA
--------------------------------	---------

NOTES:

Hallways

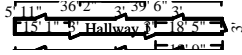


Zaremba Claims Service - Yakima

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 509-452-6527 O
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Hallway 1

Height: 8'



984.00 SF Walls	225.53 SF Ceiling
1209.53 SF Walls & Ceiling	225.53 SF Floor
25.06 SY Flooring	123.00 LF Floor Perimeter
123.00 LF Ceil. Perimeter	

DESCRIPTION

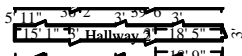
QTY

283. 5/8" drywall - hung, taped, ready for texture	80.00 SF
284. Tape joint for new to existing drywall - per LF	28.00 LF
285. Texture drywall - light hand texture	110.00 SF
286. Mask and prep for paint - plastic, paper, tape (per LF)	123.00 LF
287. Seal/prime (1 coat) then paint (1 coat) the surface area	110.00 SF
288. Paint part of the walls - one coat	874.00 SF
289. Remove Glue down carpet - High grade	225.53 SF
290. Glue down carpet - High grade	259.36 SF
15 % waste added for Glue down carpet - High grade.	
291. Final cleaning - construction - Commercial	225.53 SF

NOTES:

Hallway 2

Height: 8'



984.00 SF Walls	225.53 SF Ceiling
1209.53 SF Walls & Ceiling	225.53 SF Floor
25.06 SY Flooring	123.00 LF Floor Perimeter
123.00 LF Ceil. Perimeter	

DESCRIPTION

QTY

292. Drywall patch / small repair, ready for paint	1.00 EA
293. Mask and prep for paint - plastic, paper, tape (per LF)	123.00 LF
294. Paint the walls - one coat	984.00 SF
295. Glue down carpet	259.36 SF



Zaremba Claims Service - Yakima

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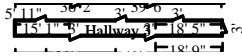
CONTINUED - Hallway 2

DESCRIPTION	QTY
15 % waste added for Glue down carpet.	
296. Final cleaning - construction - Commercial	225.53 SF

NOTES:

Hallway 3

Height: 8'



984.00 SF Walls	225.53 SF Ceiling
1209.53 SF Walls & Ceiling	225.53 SF Floor
25.06 SY Flooring	123.00 LF Floor Perimeter
123.00 LF Ceil. Perimeter	

DESCRIPTION	QTY
297. Drywall patch / small repair, ready for paint	1.00 EA
298. Mask and prep for paint - plastic, paper, tape (per LF)	123.00 LF
299. Paint the walls - one coat	984.00 SF
300. Glue down carpet	259.36 SF
15 % waste added for Glue down carpet.	
301. Final cleaning - construction - Commercial	225.53 SF

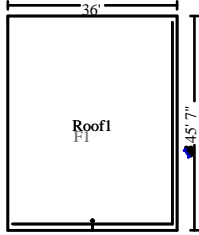
NOTES:

Roof



Zarembo Claims Service - Yakima

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 509-452-7236 F



Roof1

1641.00	Surface Area	16.41	Number of Squares
163.17	Total Perimeter Length		

DESCRIPTION

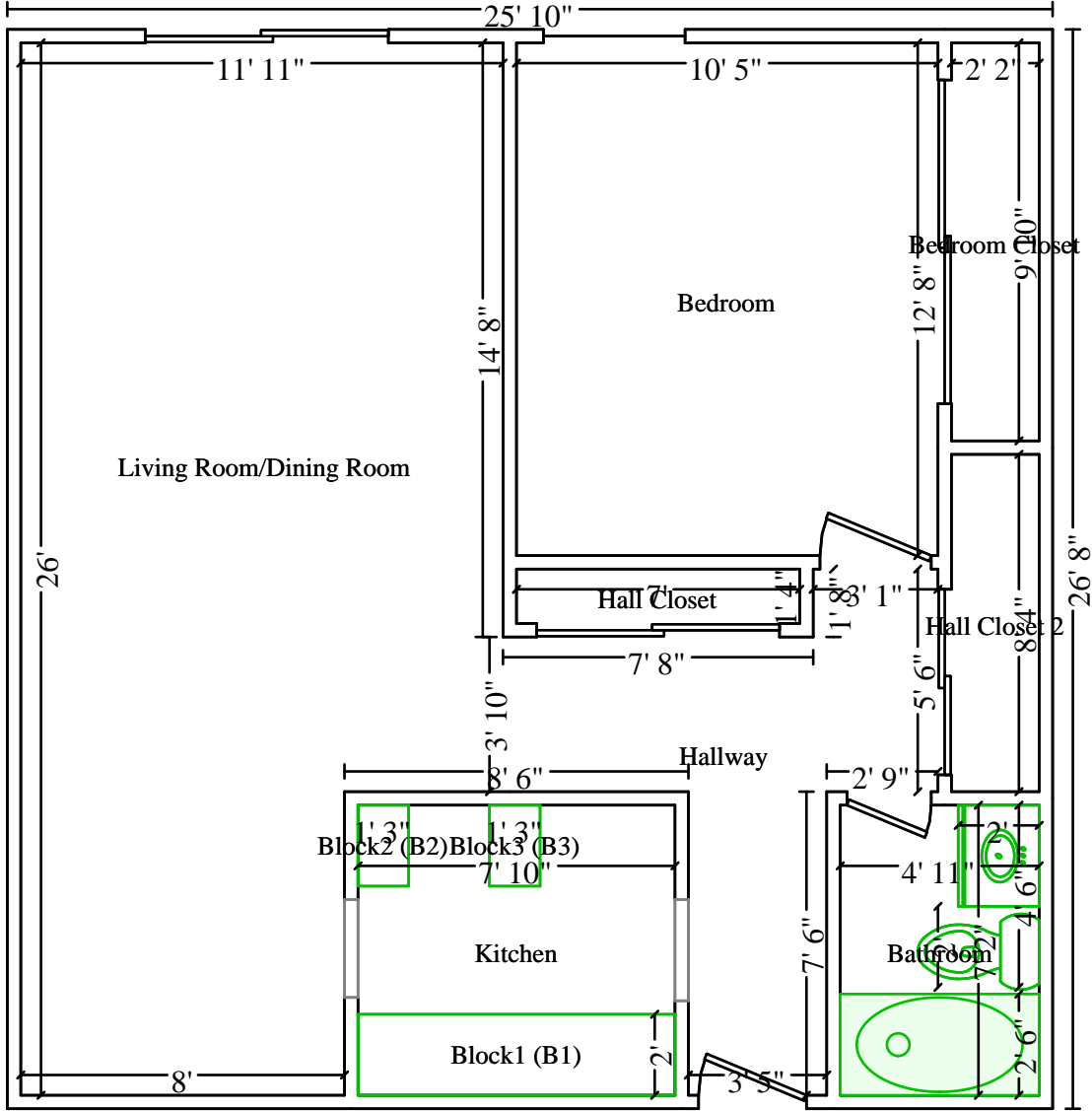
QTY

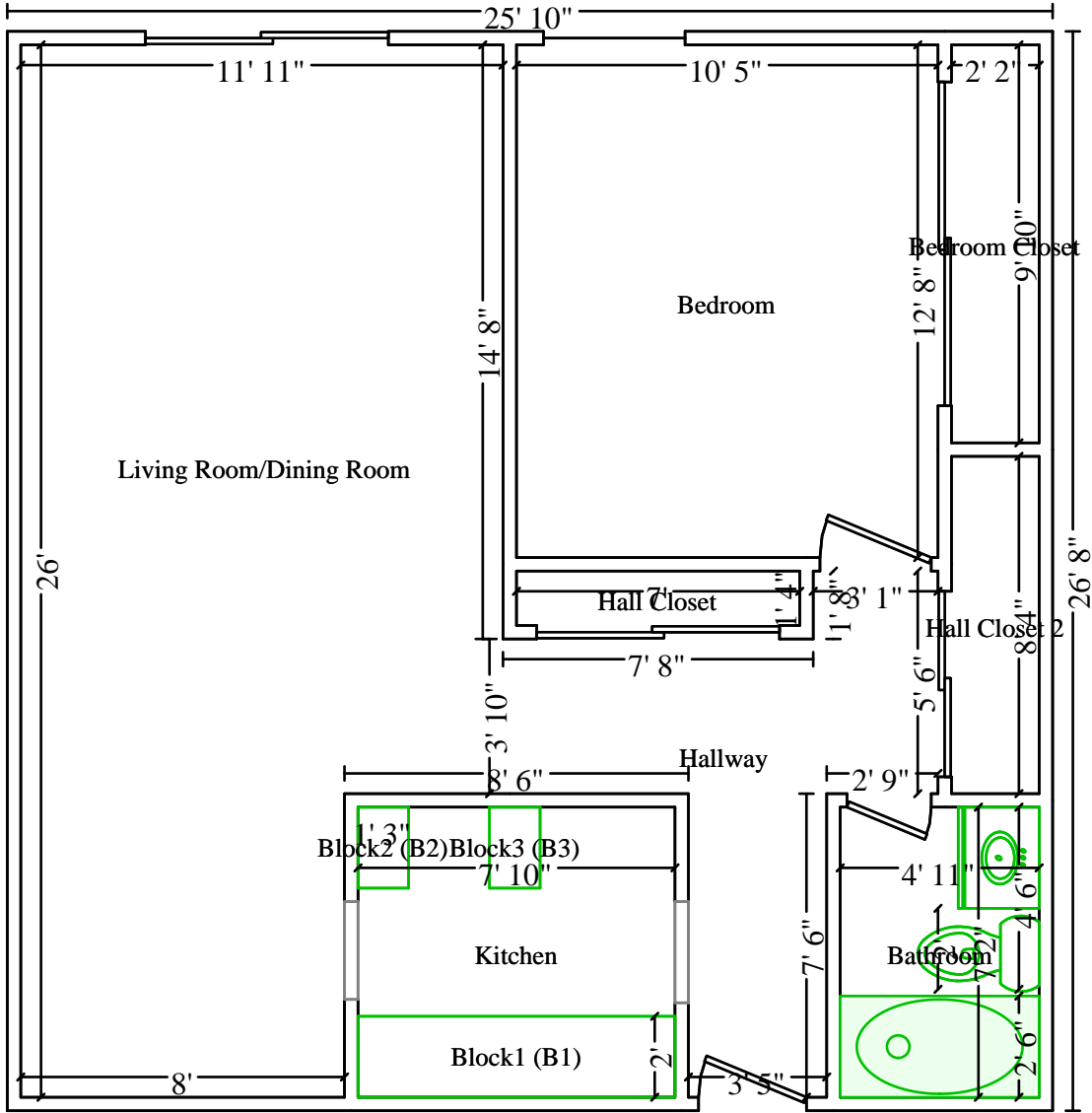
302.	R&R Modified bitumen roof	16.41	SQ
303.	R&R Sheathing - plywood - 5/8" CDX	1641.00	SF
304.	Flash parapet wall only - bitumen - up to 3'	80.00	LF
305.	Cap flashing - large	80.00	LF

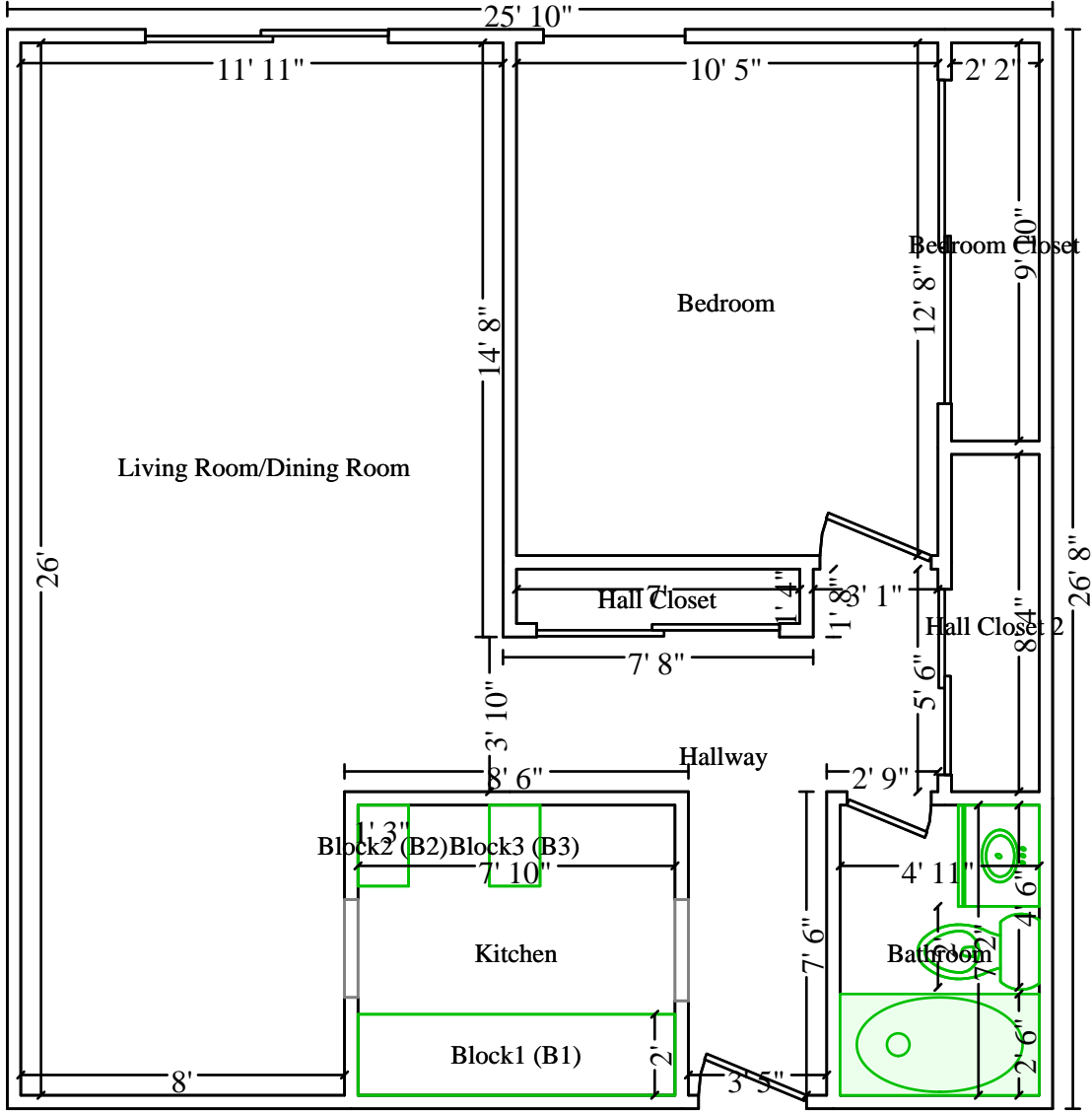
NOTES:

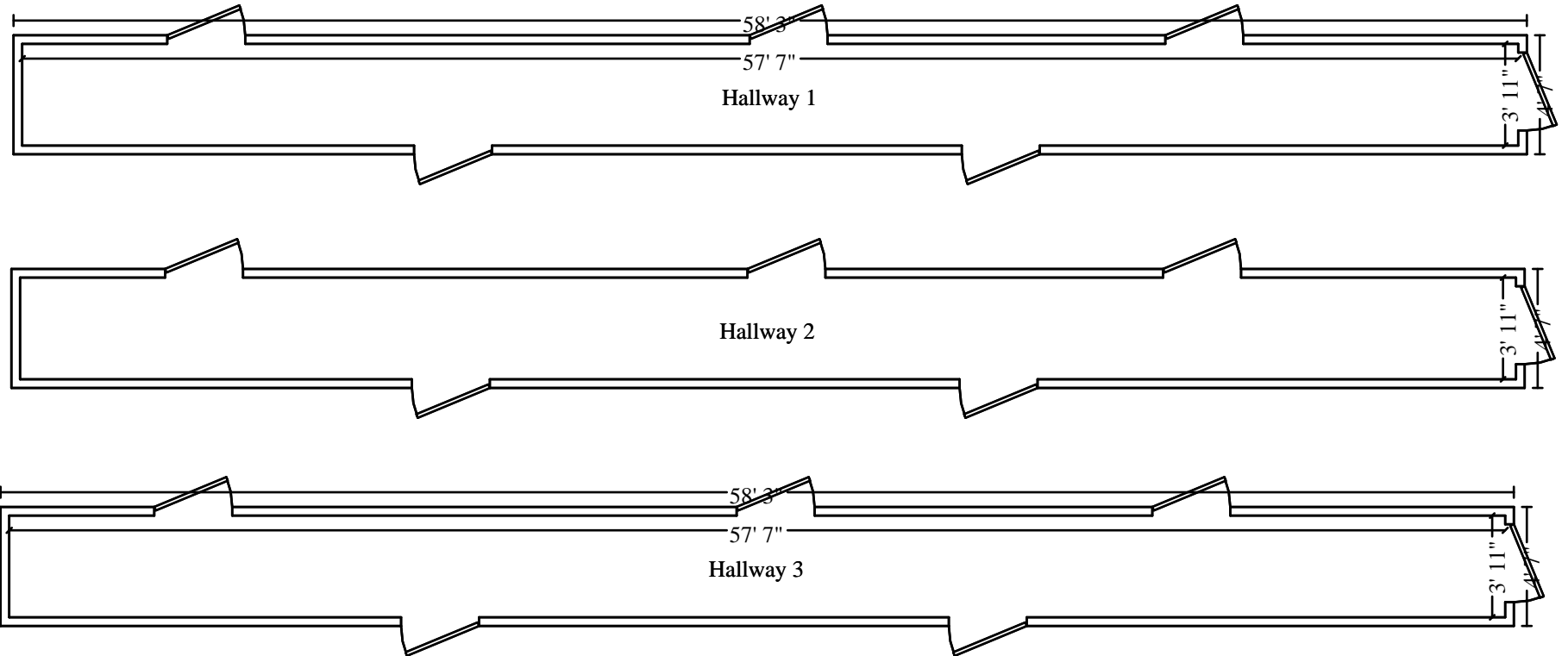
Grand Total Areas:

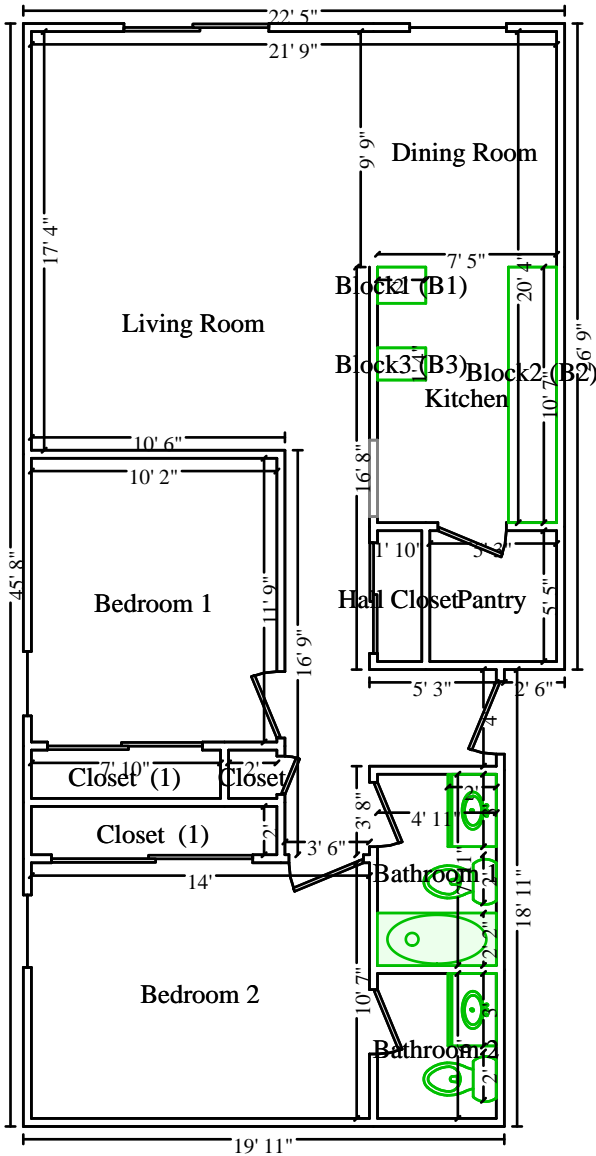
17,881.24	SF Walls	5,222.21	SF Ceiling	23,103.45	SF Walls and Ceiling
5,222.21	SF Floor	580.25	SY Flooring	2,267.64	LF Floor Perimeter
0.00	SF Long Wall	0.00	SF Short Wall	2,316.14	LF Ceil. Perimeter
5,222.21	Floor Area	5,796.81	Total Area	17,881.24	Interior Wall Area
9,783.97	Exterior Wall Area	1,100.50	Exterior Perimeter of Walls		
1,641.00	Surface Area	16.41	Number of Squares	163.17	Total Perimeter Length
0.00	Total Ridge Length	0.00	Total Hip Length		

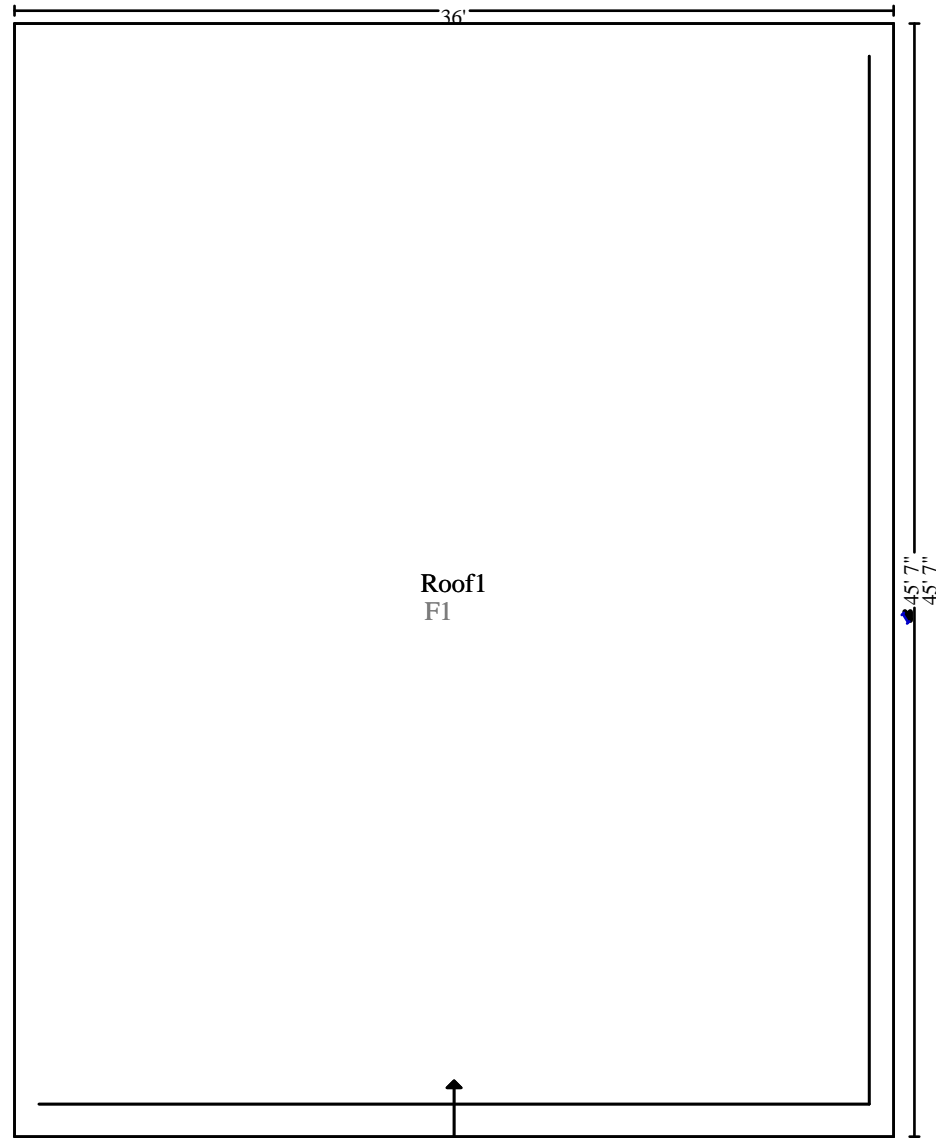


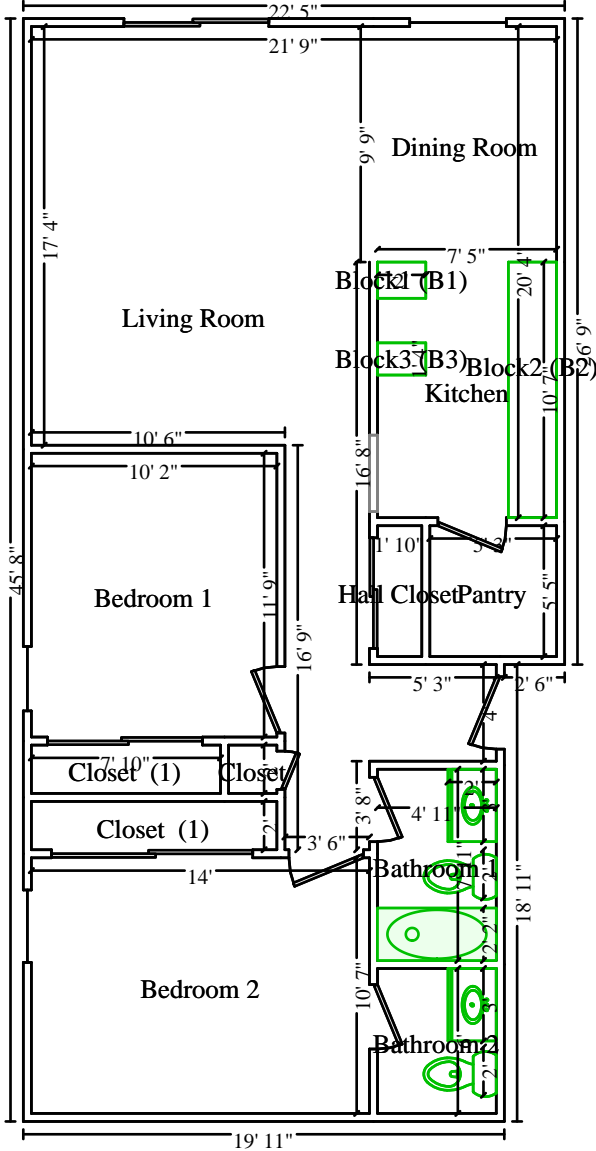


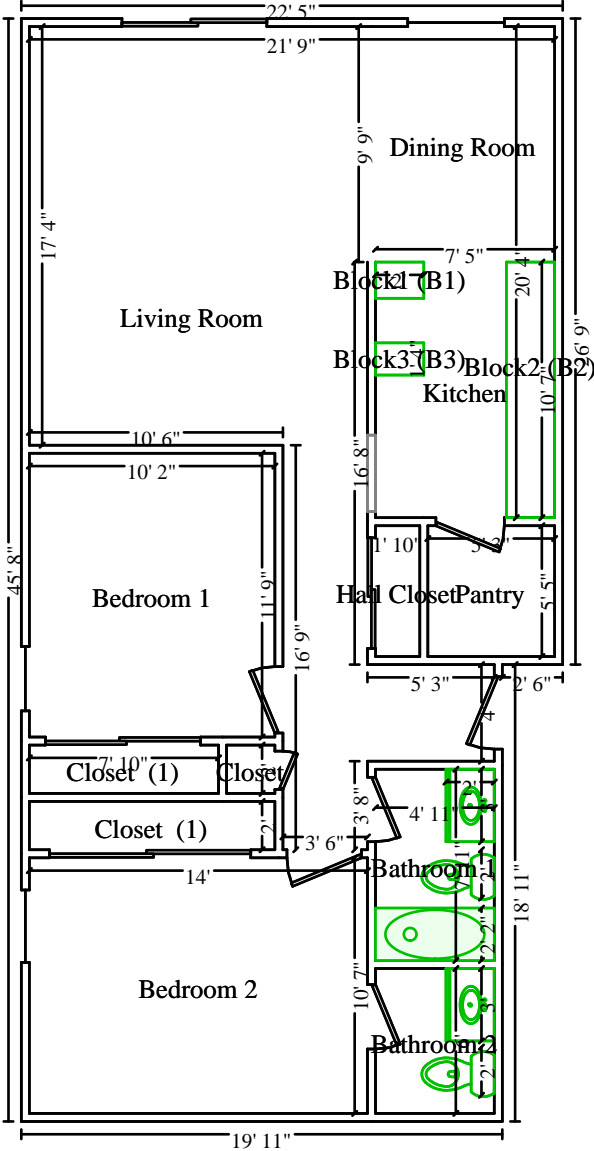














Zaremba Claims Service - Yakima

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Sketch Roof Annotations

Roof Face	Square Feet	Number of Squares	Slope - Rise / 12
F1	1,641.00	16.41	0.00
Estimated Total:	1,641.00	16.41	

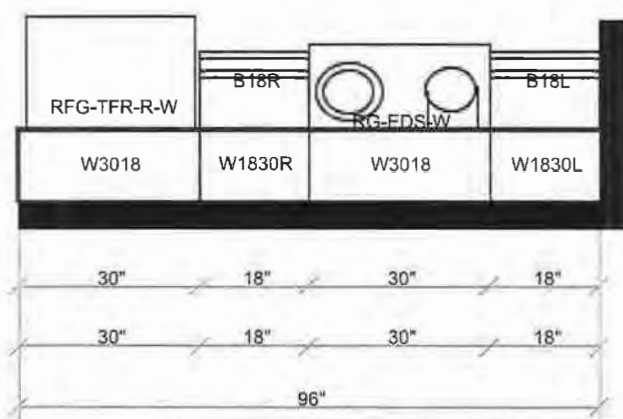
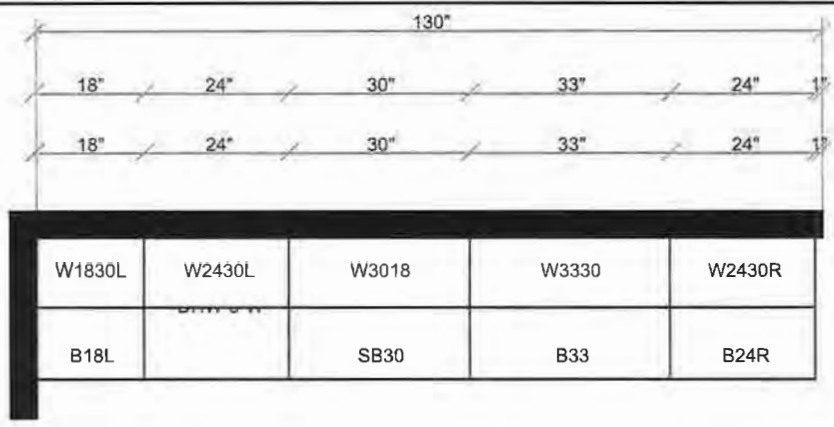
Appliances, Light fixture and ETC

Refrigerator			Range			RangeHood			Dishwasher		
Hotpoint	white	HPS16BTNLWW	Whirlpool	white	ACR4303MFW	Broan	white	Broan 403001	Frigidaire	white	FFCD2413UW

4 ft LED Ready Strip-Fixture- Single Lamp			Cilling-Mounted Light Fixture			5-Light Incandescent			Surface Mount Tri-View Medicine Cabinet		
TCP	White	UPC 194019000318	Seasons	Brushed Nickel	UPC 194671029634	Seasons	Nickel	UPC 194671028255	Designe House	White	UPC 043197009104

Wall Heater			Floor			Kitchen Sink			Faucet		
King Electric 2000W	White	W2420I-W	Shaw Industries	Tawny Oak 203 LVP	Modeled Oak 709LVP	Moen	Stainless Steel	UPC 194671015941	Dominion	Nickel	77-5100

2 bdr L



Design and Proposal assume normal construction sequencing. Cabinets will not match existing flooring or countertops.



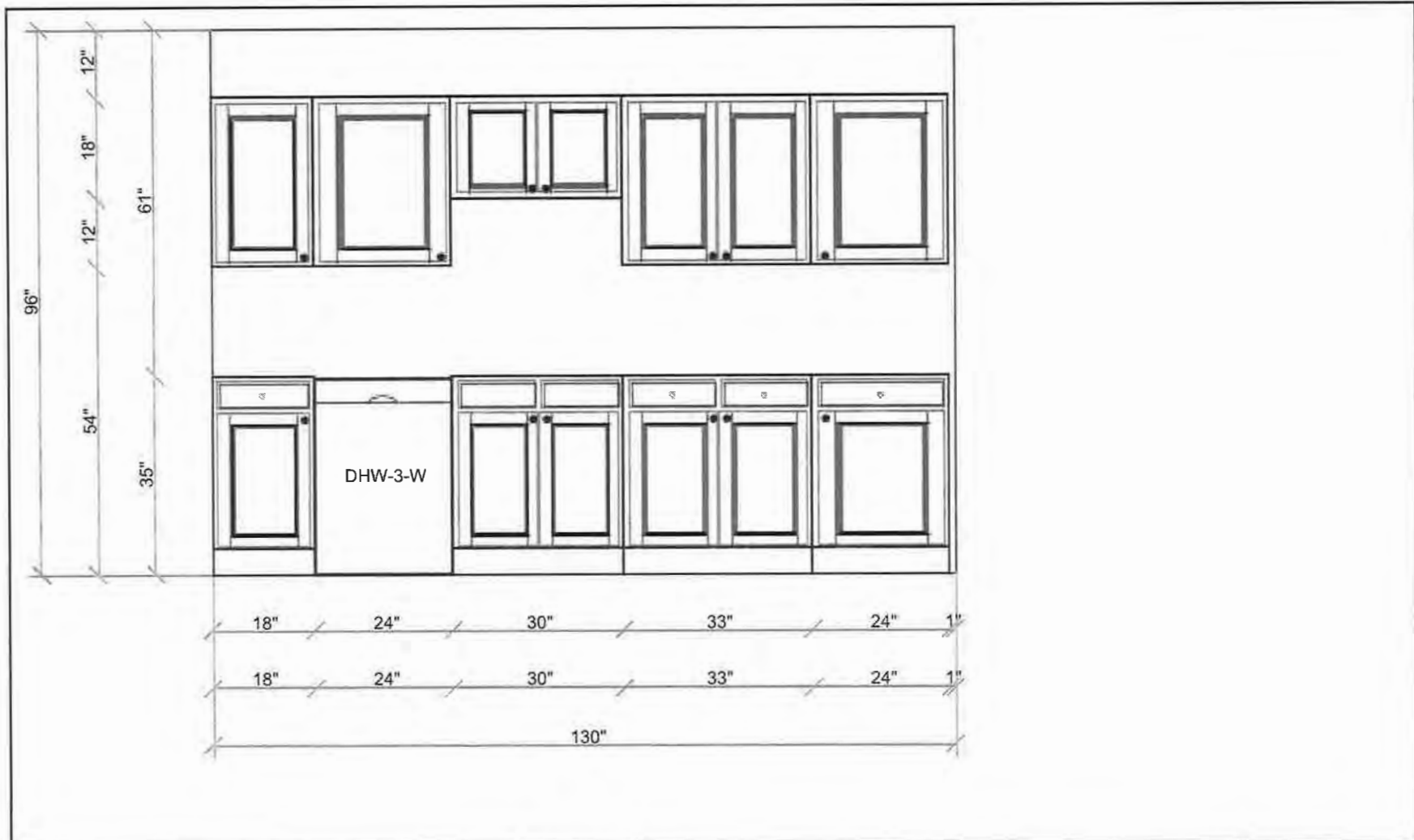
Design drawings are provided for the fair use by the client or his agent in completing the project as listed within this contract

Designed: 01.11.11
Printed: 01.11.12

Design: 2 Bedroom Large

Drawing #: 1

Display settings 3/8" = 1'



Design and Proposal assume normal construction sequencing. Cabinets will not match existing flooring or countertops.



Design drawings are provided for the fair use by the client or his agent in completing the project as listed within this contract

Designed: 01.11.11
Printed: 01.11.12

Design: 2 Bedroom Large

Drawing #: 2

Display settings 7/16" = 1'



Design and Proposal assume normal construction sequencing. Cabinets will not match existing flooring or countertops.



Design drawings are provided for the fair use by the client or his agent in completing the project as listed within this contract

Designed: 01.11.11
Printed: 01.11.12

Design: 2 Bedroom Large

Drawing #: 3

Display settings 7/16" = 1'

Cascadian Apts.

From: Chris Cook <Chris.Cook@npi-seattle.com>
Sent: Friday, September 6, 2024 10:19 AM
To: Cascadian Apts.
Subject: RE: Cabinet sizes
Attachments: 2024 Sinclair Hardwood.pdf; AOK Standard Construction.pdf

Roza and Aleks. The cabinet we used was called Sinclair from Aristokraft. The color we used was called Autumn. The cabinets were in u Standard construction. I've attached some information too.

The Autumn color is no longer available and has not been since 2022 but we can still get replaced doors and drawer fronts.

We now stock the same cabinet in the Saddle color if you need to replace a whole kitchen. They are a little darker than the cabinets we used for your project.

Please let me know if you need anything else.

Thank You,

Chris Cook

NPI



Check out [PURESTYLE™](#)

Chris Cook | Operations | NPI-Seattle | <https://www.npi-seattle.com>

8740S 228th Street, Kent, WA 98031 | T: [253-981-6113](tel:253-981-6113) | F: [253-867-6114](tel:253-867-6114)

From: Cascadian Apts. <cascadian@alliedresidential.com>
Sent: Wednesday, September 4, 2024 3:38 PM
To: Chris Cook <Chris.Cook@npi-seattle.com>
Subject: RE: Cabinet sizes

Thank you Chris.

Roza Stamati | Senior Community Manager
Cascadian@alliedresidential.com

Cascadian Apartments

VICINITY MAP



SCOPE AREAS

SCOPE OF WORK SQUARE FOOTAGE AT UNITS AND ROOF		
LEVEL	NUMBER	AREA
LEVEL 1	K125	669 SF
LEVEL 1	K126	906 SF
LEVEL 2	K225	668 SF
LEVEL 2	K226	927 SF
LEVEL 3	K325	668 SF
LEVEL 3	K326	927 SF
ROOF	K - ROOF	1675 SF
TOTAL: 7		6439 SF

SHEET INDEX

SHEET INDEX - PERMIT SET	
SHEET NO.	SHEET NAME
G001	SHEET INDEX & PROJECT INFO
G002	GENERAL NOTES AND SYMBOLS
A100	BUILDING K - FLOOR PLANS
A450	ENLARGED PLAN - UNIT K125 & K126
A451	ENLARGED PLAN - UNIT K225 & K226
A452	ENLARGED PLAN - UNIT K325 & K326
A595	DETAILS - EXTERIOR, ASSEMBLIES, FINISH
K-S100	BUILDING K - GENERAL STRUCTURAL NOTES
K-S202	BUILDING K - LEVEL 3 FRAMING PLAN
K-S203	BUILDING K - ROOF FRAMING PLAN
K-S401	TYPICAL WOOD DETAILS
TOTAL SHEETS: 11	

PROJECT DATA:

ADDRESS OF PROPERTY: BUILDING K, 15320 NE 11TH ST 98007

ASSESSOR PARCEL NO.: 143380-0000

ZONING: R-30

USE: R-2 (NO CHANGE)

PROJECT DESCRIPTION:

REPAIR AND REPLACE STRUCTURAL FLOOR AND ROOF FRAMING THAT WERE DAMAGED BY A RECENT FIRE IN EARLY 2024 AT 6 UNITS OF BUILDING K - K125, K126, K215, K226, K325, K326. REINSTALL AND/OR REPLACE CASEWORK, APPLIANCES TO MATCH EXISTING. REINSTALL AND/OR REPLACE GYPSUM BOARDS, AT DAMAGED AREAS, INCLUDING WALLS AND CEILINGS. PAINT TO MATCH EXISTING. NEW PAINT, NEW RUBBER BASE THROUGHOUT ALL UNITS. NEW ROOF SHEATHING AND MEMBRANE OVER THE EFFECTED UNIT - K325, K326. ALL EXISTING DOORS TO REMAIN.

PROJECT INFORMATION:

BUILDING AREA TO RECEIVE WORK:
BUILDING K: 1,333 SF
BUILDING HEIGHT: 29'-2 1/8"
CONSTRUCTION: VA
YEAR BUILT: 1968

REFERENCE CODES, INCLUDING BUT NOT LIMITED TO:

BELLEVUE CITY CODE
2021 WASHINGTON STATE EXISTING BUILDING CODE
2021 WASHINGTON STATE BUILDING CODE
2021 WASHINGTON STATE ENERGY CODE, RESIDENTIAL PROVISIONS
2020 NATIONAL ELECTRICAL CODE (NFPA 70)
ICC A117.1-2009

DESIGN TEAM:

PROPERTY OWNER:

KING COUNTY HOUSING AUTHORITY
600 ANDOVER PARK WEST
TUKWILA, WA 98188
PH: 206.693.8415

CONTACT:

DARRELL WESTLAKE, SENIOR PROJECT MANAGER: DarrellW@kcha.org
BARRY ADEN, CONSTRUCTION PROJECT MANAGER: BarryA@kcha.org

ARCHITECT:

SMR ARCHITECTS
117 SOUTH MAIN ST SUITE 400
SEATTLE, WA 98104
PH: 206.623.1104

CONTACT:

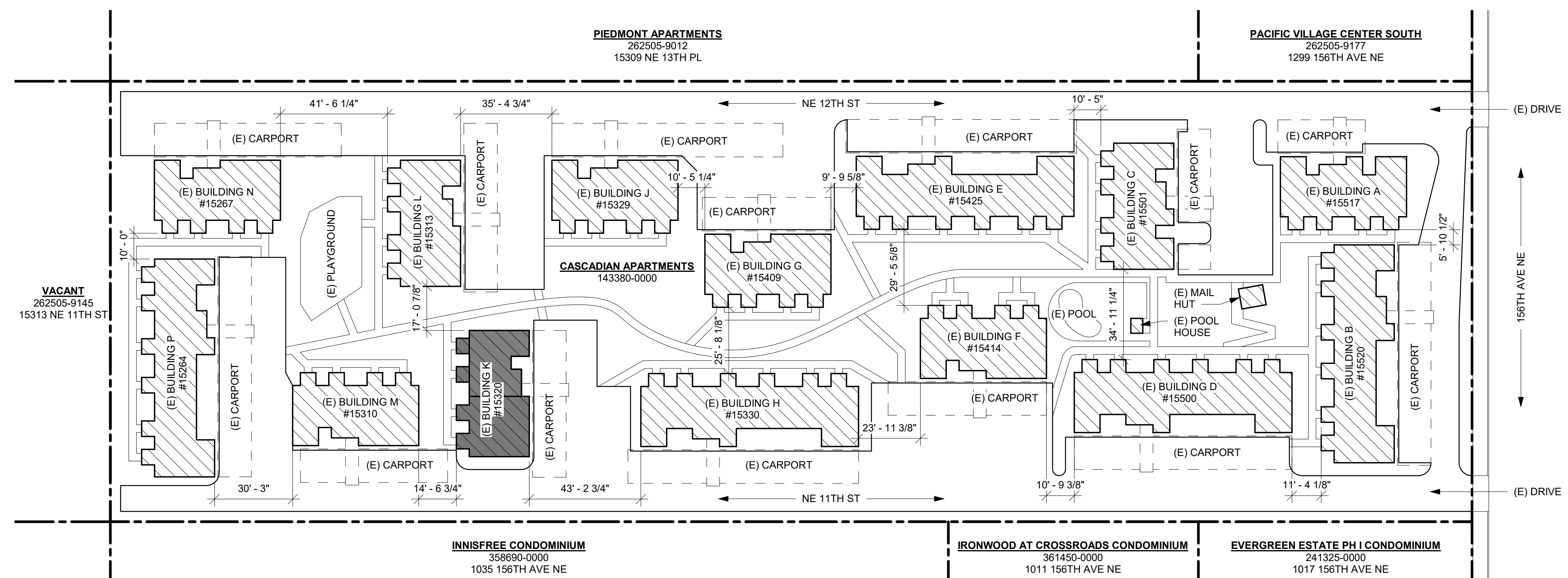
ANDY PHILLIPS, PRINCIPAL: aphillips@smrarchitects.com
KIM ANH TRAN-DINH, PROJECT MANAGER: katrandinh@smrarchitects.com

STRUCTURAL ENGINEER:

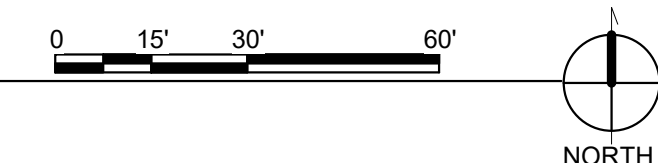
I.L. GROSS STRUCTURAL ENGINEERS
23914 56TH AVE W, SUITE 200
MOUNTLAKE TERRACE, WA 98043
PH: 425.640.7333

CONTACT:

VICTOR MARTINEZ, PRINCIPAL: victorm@ilgross.com



1 SITE PLAN
SCALE: 1" = 30'-0"



KEY:
[Hatched Box] BUILDING AND INTERIOR AREA TO RECEIVE WORK



SMR Architects
117 S. Main St., Suite 400
Seattle, WA 98104

PH: 206.623.1104
FX: 206.623.5285



CASCADIAN APARTMENTS

BUILDING K
15320 NE 11TH ST 98007



ISSUED SETS		
NO	DATE	DESCRIPTION
	10/29/24	PERMIT SET

REVISIONS / NOTES		
NO	DATE	DESCRIPTION

AHJ STAMP

TITLE
SHEET INDEX & PROJECT INFO

PERMIT #	
DRAWN	KTD
CHECKED	DK, AP
ISSUE DATE	10/29/24
PROJECT #	24022
SHEET #	

G001

ABBREVIATIONS:

&	AND	FL	FLOORING	QT	QUARRY TILE
<	ANGLE	FLASH	FLASHING	R	RISER
@	AT	FLUOR	FLOURESCENT	RAD	RADIUS
⊕	CENTERLINE	FOC	FACE OF CONCRETE	RCP	REFLECTED CEILING PLAN
#	POUND OR NUMBER	FOF	FACE OF FINISH	RD	ROOF DRAIN
ACOUST	ACOUSTICAL	FOP	FACE OF PARTITION	RECEPT	RECEPTACLE
AD	AREA DRAIN	FOS	FACE OF STUDS	REF	REFRIGERATOR
ADJUST	ADJUSTABLE	FOT	FACE OF TILE	REG	REGISTER
AF	ACCESS FLOOR	FR	FIREPROOF	REINF	REINFORCED
AGGR	AGGREGATE	FS	FULL SIZE	REM	REMOVE(D)
ALUM	ALUMINUM	FT	FOOT OR FEET	REQ	REQUIRED
APPROX	APPROXIMATE	FTG	FOOTING	RM	ROOM
ARCH	ARCHITECTURAL	FURR	FURRING	RO	ROUGH OPENING
ASB	ASBESTOS	FUT	FUTURE	RWD	REDWOOD
ASPH	ASPHALT	GA	GAUGE	RWL	RAIN WATER LEADER
BD	BOARD	GALV	GALVANIZED	S	SOUTH
BF	BRACE FRAME	GB	GRAB BAR	SAM	SELF ADHESIVE MEMBRANE
BITUM	BITUMINOUS	GL	GLASS	SC	SOLID CORE
BLDG	BUILDING	GND	GROUND	SCD	SEAT COVER DISPENSER
BLK	BLOCKING	GR	GRADE	SCHEID	SCHEDULE
BM	BEAM	GWB	GYPSPUM WALL BOARD	SD	SOAP DISPENSER
BOT	BOTTOM	GYP	GYPSPUM	SECT	SECTION
C.I.	CONT. INSULATION	HB	HOSE BIB	SF	STOREFRONT
CAB	CABINET	HC	HOLLOW CORE	SH	SHELF
CB	CATCH BASIN	HDWD	HARDWOOD	SHWR	SHOWER
CEM	CEMENT	HDWE	HARDWARE	SHT	SHEET
CER	CERAMIC	HM	HOLLOW METAL	SIM	SIMILAR
CH	CHALK	HM	HOLLOW METAL	SND	SANITARY NAPKIN DISPENSER
CI	CAST IRON	HORIZ	HORIZONTAL	SNR	SANITARY NAPKIN RECEPTACLE
CJ	CONTROL JOINT	HR	HOUR	SPEC	SPECIFICATION
CL	CHAIN LINK	HGT	HEIGHT	SQ	SQUARE
CLG	CEILING	ID	INSIDE DIAMETER	SS	STAINLESS STEEL
CLKG	CAULKING	INSUL	INSULATION	SK	SERVICE SINK
CLR	CLEAR	INT	INTERIOR	STA	STATION
CMU	CONCRETE MASONRY	INCL	INCLUDE	STD	STANDARD
CNTR	COUNTER	JAN	JANITOR	STL	STEEL
CO	CASED OPENING	JT	JOINT	STR	STORAGE
COL	COLUMN	LAB	LABORATORY	STRL	STRUCTURAL
CONC	CONCRETE	LAM	LAMINATE	SUSP	SUSPENDED
CONN	CONNECTION	LAV	LAVATORY	SYM	SYMMETRICAL
CONSTR	CONSTRUCTION	LCKR	LOCKER	TRD	TREAD
CONT	CONTINUOUS	LGT	LIGHT	TB	TOWEL BAR
CORR	CORRIDOR	LVT	LUXURY VINYL TILE	T-BD	TACK BOARD
CTR	CENTER	MAS	MASONRY	TC	TOP OF CURB
CTSK	COUNTERSUNK	MAT	MATERIAL	TEL	TELEPHONE
DBL	DOUBLE	MAX	MAXIMUM	TER	TERRAZZO
DEPT	DEPARTMENT	MECH	MECHANICAL	T&G	TONGUE & GROOVE
DF	DRINKING FOUNTAIN	MEMB	MEMBRANE	THK	THICK
DET	DETAIL	MTL	METAL	TO	TOP OF
DIA	DIAMETER	MTR	MATCH LINE	TOIL	TOILET
DIM	DIMENSION	MFR	MANUFACTURE(R)	TP	TOILET PAPER
DISP	DISPENSER	MH	MANHOLE	TPO	THERMOPLASTIC POLYOLEFIN
DN	DOWN	MIN	MINIMUM	TPD	TOILET PAPER DISPENSER
DO	DOOR OPENING	MIR	MIRROR	TV	TELEVISION
DP	DEEP	MISC	MISCELLANEOUS	TW	TOP OF WALL
DR	DOOR	MTD	MOUNTED	TYP	TYPICAL
DWR	DRAWER	MUL	MULLION	UNF	UNFINISHED
DS	DOWNSPOUT	(N)	NEW	UNON	UNLESS OTHERWISE NOTED
DSP	DRY STANDPIPE	N	NORTH	UR	URINAL
DW	DISHWASHER	EA	EAST	VAC	VACUUM
DWG	DRAWING	EACH	EACH	VCT	VINYL COMPOSITE TILE
(E)	EXISTING	NO	NOT IN CONTRACT	VERT	VERTICAL
E	EAST	NOM	NOMINAL	VEST	VESTIBULE
EA	EACH	NTS	NOT TO SCALE	W	WEST
EJ	EXPANSION JOINT	OA	OVERALL	W/	WITH
EL	ELEVATION	OBS	OBSCURE	WC	WATER CLOSET
ELEC	ELECTRICAL	OC	ON CENTER	WO	WOOD
ELEV	ELEVATOR	OD	OUTSIDE DIAMETER (DIM.)	W/O	WITHOUT
EME	EMERGENCY	OFCI	OWNER FURNISH	WP	WATERPROOF
ENCL	ENCLOSURE	ORD	CONTRACTOR INSTALL	WSCT	WAINSCOT
EOS	EDGE OF SLAB	OSB	ORIENTED STRAND BOARD	WT	WEIGHT
EP	ELECTRICAL PANEL	PRCST	PRE-CAST	WDW	WINDOW
EQ	EQUAL	PL	PLATE	WRB	WEATHER RESISTIVE BARRIER
EQPT	EQUIPMENT	PL	PLATE		
EWC	ELEC. WATER COOLER	PLAM	PLASTIC LAMINATE		
EX	EXISTING	PLAS	PLASTER		
EXIST	EXISTING	PLYWD	PLYWOOD		
EXPO	EXPOSED	PR	PAIR		
EXP	EXPANSION	PT	PRESSURE TREATED		
EXT	EXTERIOR	PT SLAB	POST-TENSIONED SLAB		
FA	FIRE ALARM	PTD	PAPER TOWEL DISPENSER		
FB	FLAT BAR	PTD/R	PAPER TOWEL DISPENSER & RECEPTACLE		
FC	FIBER CEMENT	PTN	PARTITION		
FD	FLOOR DRAIN	PTR	PAPER TOWEL RECEPTACLE		
FDN	FOUNDATION				
FE	FIRE EXTINGUISHER				
FEC	FIRE EXT. CABINET				
FHC	FIRE HOSE CABINET				
FIN	FINISH				

GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH CODES AND LOCAL ORDINANCES. SEE "REFERENCE CODES" ON SHEET G000.
2. CONTRACTOR SHALL VERIFY ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS OF THE JOB BEFORE PROCEEDING AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT. IN CASES OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE DRAWINGS, THE CONTRACTOR SHALL OBTAIN WRITTEN DIRECTIONS FROM THE ARCHITECT PRIOR TO PROCEEDING. DIMENSIONS NOTED AS PLUS OR MINUS (+) INDICATE UNVERIFIED DISTANCE TO EXISTING REFERENCE AND ARE APPROXIMATE. NOTIFY ARCHITECT IMMEDIATELY OF CONFLICTS OR VARIATION FROM INDICATED DIMENSION.
3. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
4. REPETITIVE FEATURES DRAWN OR NOTED ONLY ONCE SHALL BE COMPLETELY PROVIDED AS IF DRAWN OR NOTED IN FULL.
5. ALL FRAMING AND INTERIOR PARTITIONS SHALL BE IN ACCORDANCE WITH PLANS AND SPECIFICATIONS. STRUCTURAL DETAILS TAKE PRECEDENCE OVER ARCHITECTURAL. WHERE INCONSISTENCIES EXIST, CONTACT ARCHITECT FOR CLARIFICATION.
6. CONTRACTOR SHALL CONSULT PLANS OF ALL TRADES FOR DUCTS, PIPING, CONDUIT AND EQUIPMENT. ALL SHALL VERIFY SIZE OF ALL OPENINGS REQUIRED AND SHALL COORDINATE WITH TRADE REPRESENTATIVES AS APPLICABLE. VERIFY ALL FIELD DIMENSIONS WITH CONDITIONS FOR ITEMS FURNISHED AND INSTALLED. NOTIFY ARCHITECT IMMEDIATELY WHERE FIELD CONDITIONS VARY OR CONFLICT WITH INDICATED.
7. CONTRACTOR TO PROVIDE SHORING AND/OR BRACING AS REQUIRED TO COMPLETE THE WORK.
8. PENETRATIONS FOR CONDUITS, DUCTS AND PIPES SHALL BE FIRE SEALED AND DUCTS FIRE DAMPERED, AS INDICATED AND AS REQUIRED BY INTERNATIONAL BUILDING CODE, AT FIRE ASSEMBLIES.
9. FIRE PROTECT ALL STEEL COLUMNS & BEAMS TO THE LEVEL OF FIRE RESISTANCE NOTED ON DETAILS AND DRAWINGS.
10. THE CONTRACTOR, AT THE COMPLETION OF THIS WORK, SHALL REMOVE ALL DEBRIS RESULTING FROM THE WORK.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE DONE BY SUBCONTRACTORS TO ADJACENT WORK AND SHALL MAKE GOOD SUCH DAMAGE AT THEIR OWN EXPENSE. CONDITIONS TO BE RETAINED WHICH ARE DAMAGED AS A RESULT OF WORK DONE UNDER CONTRACT SHALL BE REPAIRED AND FINISHED TO MATCH ADJACENT FINISHES.
12. ALL FRAMING AND INTERIOR PARTITIONS SHALL BE IN ACCORDANCE WITH STRUCTURAL ENGINEER'S NOTES.

SYMBOLS

	WALL ASSEMBLY		CENTERLINE
	WINDOW TYPE		HIDDEN LINE (ABOVE OR BELOW)
	RELITE TYPE		EXTERIOR ELEVATION
	DOOR NUMBER		BUILDING SECTION
	TYPE A BARRIER FREE UNIT		WALL SECTION
	PROPERTY LINE		DETAIL
	INTERIOR ELEVATION		GRID MARKER
	SMOKE DETECTOR		RAISED SLAB (PLAN VIEW)
	EXIT SIGN		DEPRESSED SLAB (PLAN VIEW)
	FIRE EXTINGUISHER		INDICATES OPENING IN FLOOR
	HOSE BIB		SPOT ELEVATION
	FLOOR DRAIN		ACCESSIBLE DOOR CLEARANCES



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Seattle, WA 98104

PH: 206.623.1104
FX: 206.623.5285



CASCADIAN APARTMENTS

BUILDING K
15320 NE 11TH ST 98007



ISSUED SETS		
NO	DATE	DESCRIPTION
10/29/24		PERMIT SET

REVISIONS / NOTES		
NO	DATE	DESCRIPTION

AHJ STAMP

TITLE
GENERAL NOTES AND SYMBOLS

PERMIT #	
DRAWN	KTD
CHECKED	DK, AP
ISSUE DATE	10/29/24
PROJECT #	24022
SHEET #	

G002



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117 S. Main St., Suite 400
Seattle, WA 98104

PH: 206.623.1104
FX: 206.623.5285



CASCADIAN APARTMENTS

BUILDING K
15320 NE 11TH ST 98007



ISSUED SETS		
NO	DATE	DESCRIPTION
1	10/29/24	PERMIT SET

REVISIONS / NOTES		
NO	DATE	DESCRIPTION

AHJ STAMP

TITLE
BUILDING K -
FLOOR PLANS

PERMIT #	
DRAWN	KTD
CHECKED	DK, AP
ISSUE DATE	10/29/24
PROJECT #	24022
SHEET #	

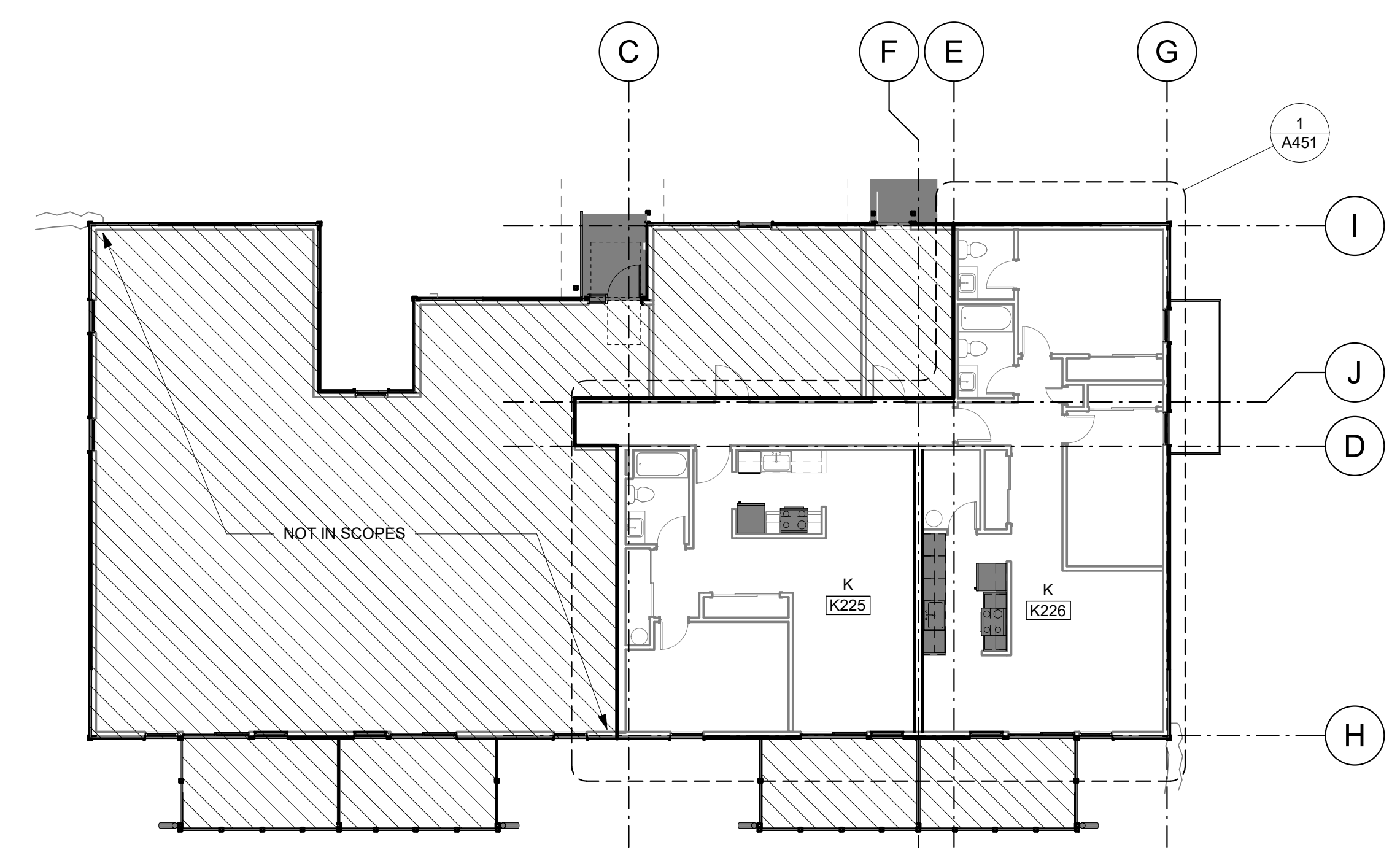
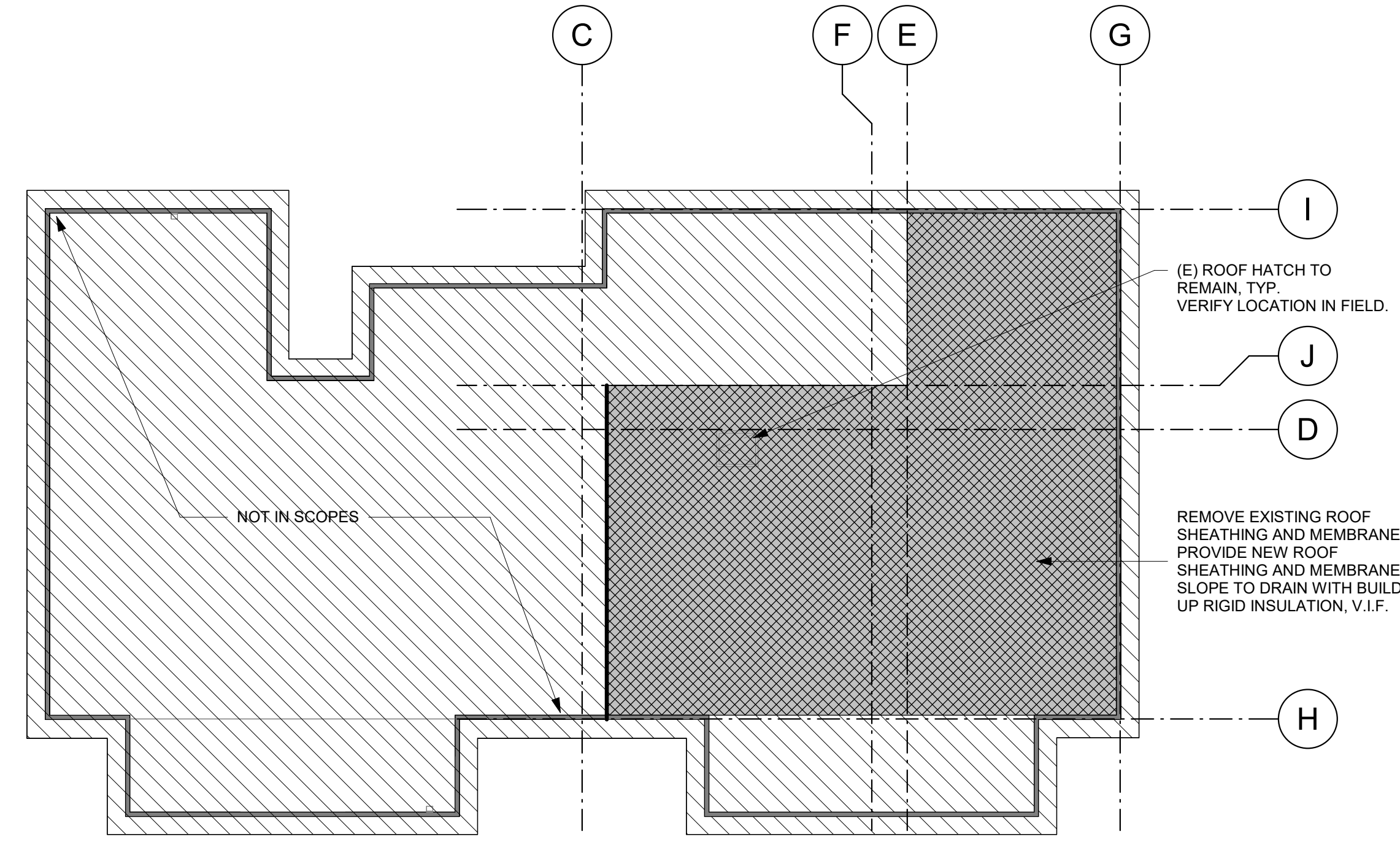
A100

GENERAL PLAN NOTES

1. THESE DRAWINGS ARE BASED ON INFORMATION AND DRAWINGS PROVIDED BY OTHERS AND/OR LIMITED SITE OBSERVATIONS AND GENERALLY REPRESENT EXISTING CONDITIONS. ALL REPRESENTATIONS AND DIMENSIONS ARE APPROXIMATE AND ARE SUBJECT TO FURTHER FIELD VERIFICATION. EXISTING WALL CONSTRUCTION IS ASSUMED AND MUST BE VERIFIED IN FIELD.
2. ALL INCIDENTAL DEMOLITION NOT SHOWN. PATCH ALL DAMAGED AREAS RESULTING FROM NEW WORK.
3. FIELD VERIFY AND COORDINATE WITH ELECTRICAL & MECHANICAL SUB-CONTRACTORS FOR ADDITIONAL REPAIR WORK DUE TO NEW INSTALLATIONS.
4. FIELD VERIFY ALL DIMENSIONS BEFORE PRODUCTION/INSTALLATION.
5. ALL EXTERIOR WALLS TO BE WALL TYPE 20 U.N.O.

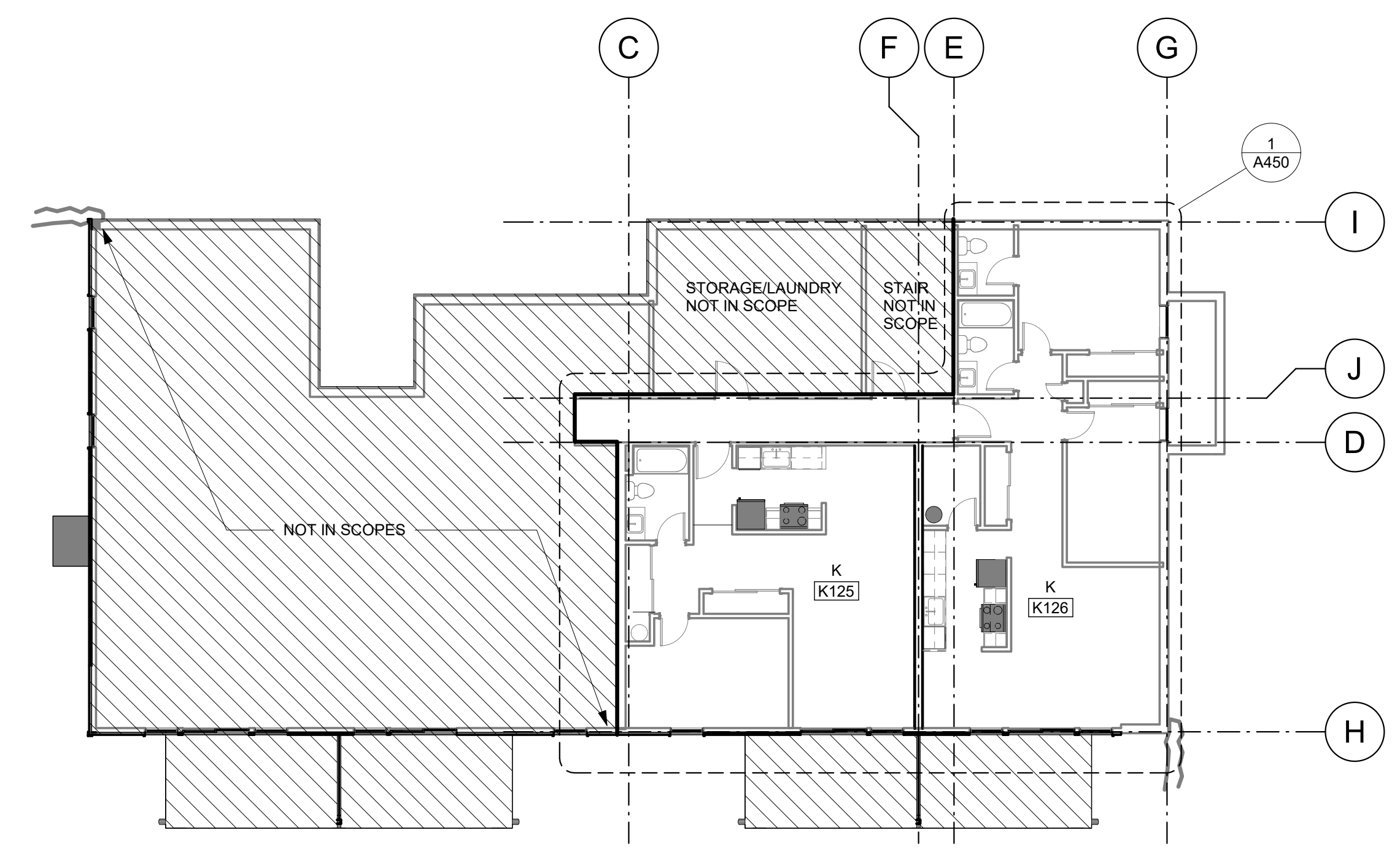
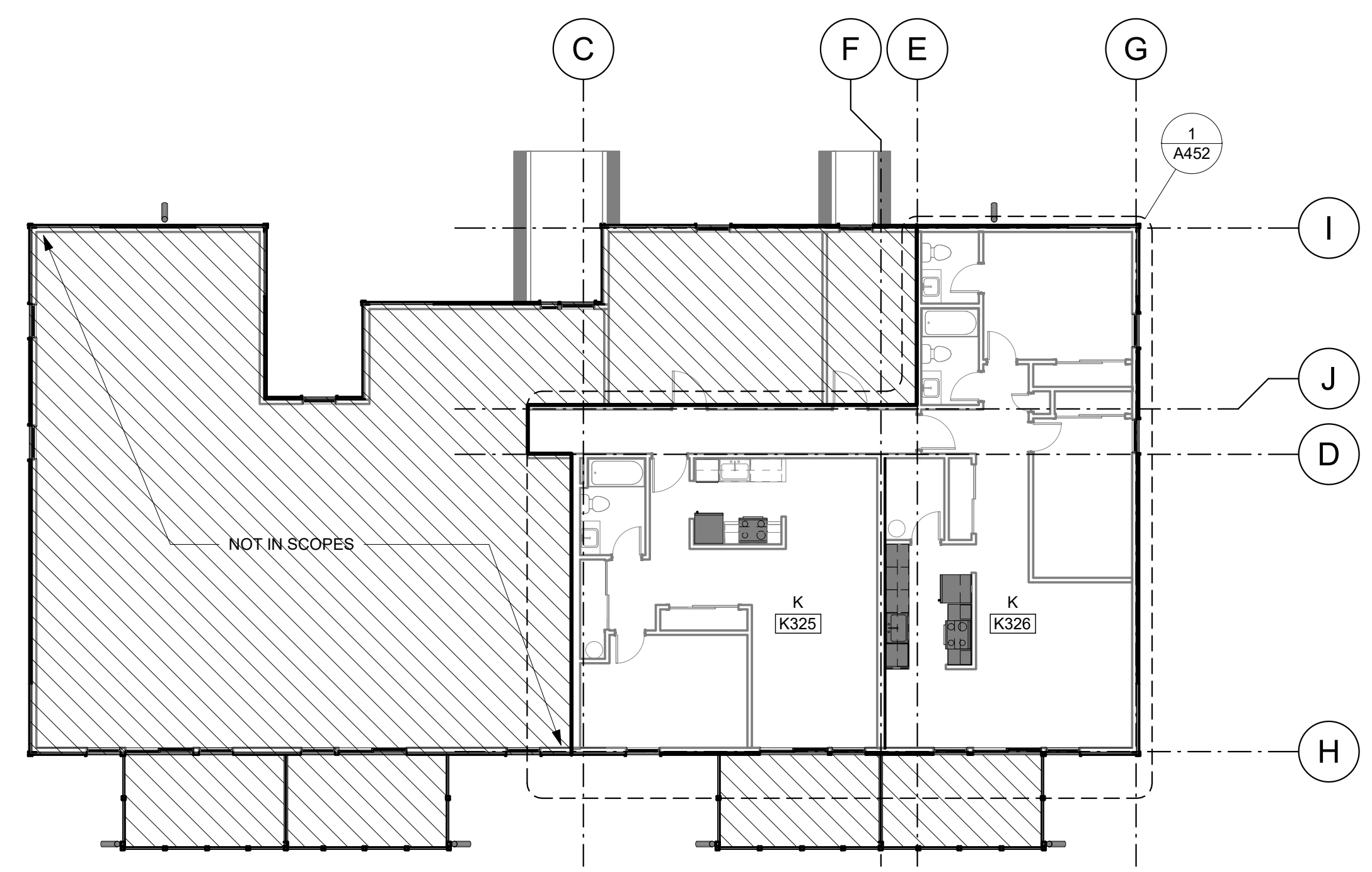
PLAN LEGEND

- EXISTING WALL / ELEMENT TO REMAIN
- NEW WALL / ELEMENT
- NEW ROOF FRAMING PER STRUCTURAL, NEW PARAPET AND MANSARD FRAMING INFILL TO MATCH EXISTING
- NOT IN SCOPES



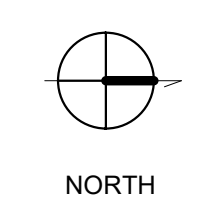
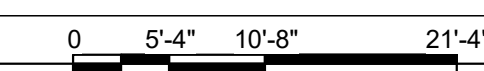
4 ROOF
SCALE: 3/32" = 1'-0"

2 LEVEL 2
SCALE: 3/32" = 1'-0"



3 LEVEL 3
SCALE: 3/32" = 1'-0"

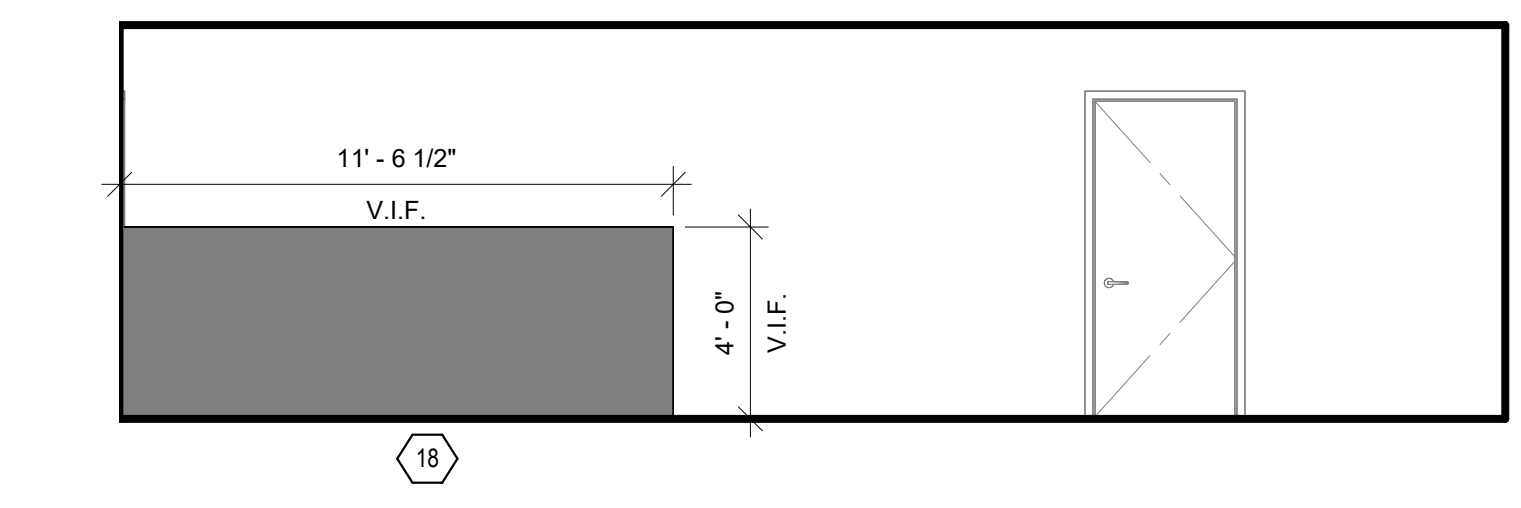
1 LEVEL 1
SCALE: 3/32" = 1'-0"



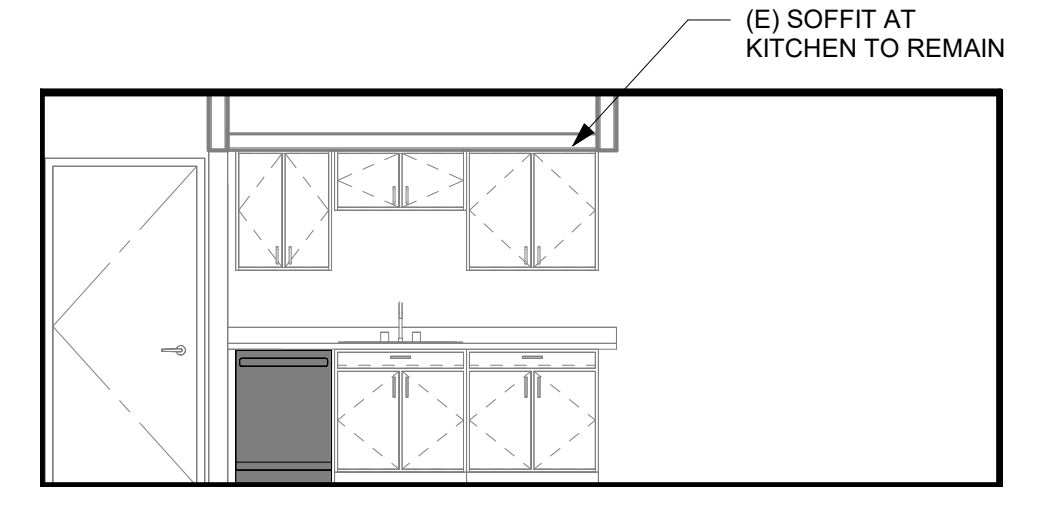
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GENERAL NOTES APPLIED THROUGH OUT ALL UNITS, K125-K326

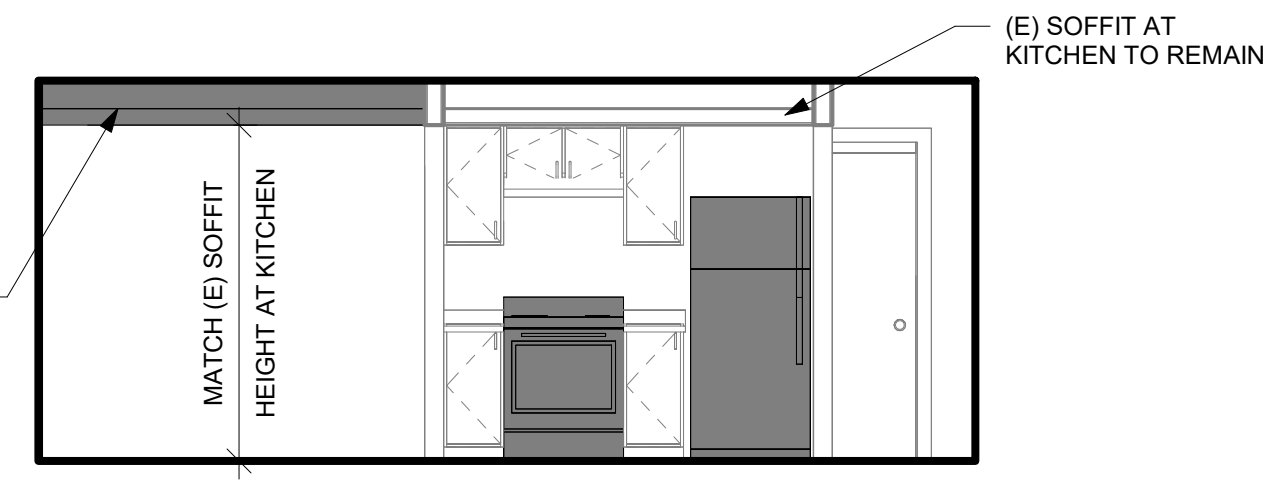
NOTE #	DESCRIPTION
1	INSTALL NEW G.W.B. TO ALL UNIT INTERIOR WHERE THE EXISTING G.W.B. WERE REMOVED FROM WATER/FIRE DAMAGE, PATCH, AND PAINT TO MATCH EXISTING.
2	PROVIDE NEW RUBBER BASE TO ALL UNITS TO MATCH EXISTING.
3	FLOORING DAMAGE, ABATEMENT FOR ASBESTOS AT EXISTING FLOORINGS. LOOKED TO BE 4-5 LAYERS OF EXISTING FLOORINGS. REMOVE AND REPLACE FLOORING. VINYL PLANKS PREFERRED.
4	KITCHEN EXHAUST DUCTING. MAINTAIN EXISTING DUCTING IN FLOOR JOIST.
5	KITCHEN LIGHTING FIXTURE. REMOVE EXISTING LIGHT BOX GRATE, INSTALL MODERN LED LOOK IN SOFFIT.
6	PROVIDE AND INSTALL NEW KITCHEN APPLIANCES.
7	EXISTING CEILING TO MAINTAIN.
8	NEW PAINT THROUGH OUT THE UNIT
9	PROVIDE AND INSTALL NEW WALL HEATER AND THERMOSTAT IN LIVING ROOM. EXISTING RADIANT HEATING IN THE CEILING OF BEDROOMS TO REMAIN. MATCH EXISTING IN SIMILAR UNITS
11	ALL EXISTING DOORS TO REMAIN.
12	ALL EXISTING BATHROOMS AND ACCESSORIES TO REMAIN.
13	REMOVE AND REPLACE DAMAGED FRAMING STUDS WHERE SHOWN DAMAGED BY FIRE. SEE STRUCTURE
14	SMOKE SEAL FRAMING MEMBERS WHERE SHOWN APPEARANCE OF DISCOLORATION ON THE WOOD. SEE STRUCTURE
15	WHERE CEILING/ROOF JOISTS SHOWN DAMAGED/CUT FROM FIRE, REMOVE REPLACE WITH NEW JOISTS. SEE STRUCTURE
16	WHERE FLOOR SHEATHING IS DAMAGED FROM WATER REMOVE EXISTING GYPCREET, CUT DAMAGED SHEATHING, REPLACE WITH NEW SHEATHING, PATCH, PROVIDE NEW GYPCREET, LEVEL TO MATCH EXISTING. SEE STRUCTURE
18	AT CORRIDOR - REPAIR, PAINT NEW G.W.B. NEW BASE TO MATCH EXISTING. CORRIDOR WALL 1-HR RATED, 1 LAYER OF 5/8" GWB ON EACH SIDE OF 2X4 WALL. SEE WALL ASSEMBLY 83 AND GA # REFERENCE ON SHEET A595
19	PROVIDE NEW PAINT THROUGH OUT THE UNIT WALLS AND CEILINGS
21	V.I.F. WHERE G.W.B. SHOWS DAMAGE, REMOVE AND REPLACE WITH NEW G.W.B. MATCH EXISTING THICKNESS OF G.W.B. PATCH, AND PAINT TO MATCH EXISTING COLOR AND TEXTURES TO ADJACENT WALL FINISH.



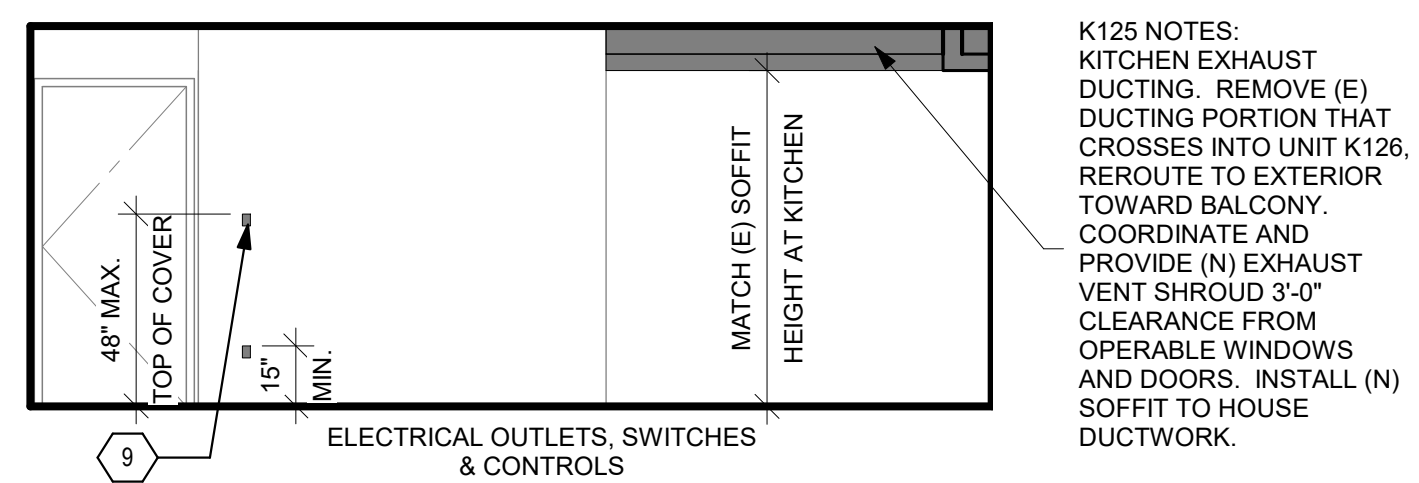
8 INTERIOR ELEVATION - LEVEL 1 CORRIDOR
SCALE: 1/4" = 1'-0"



7 INTERIOR ELEVATION - K125 - 1C
SCALE: 1/4" = 1'-0"



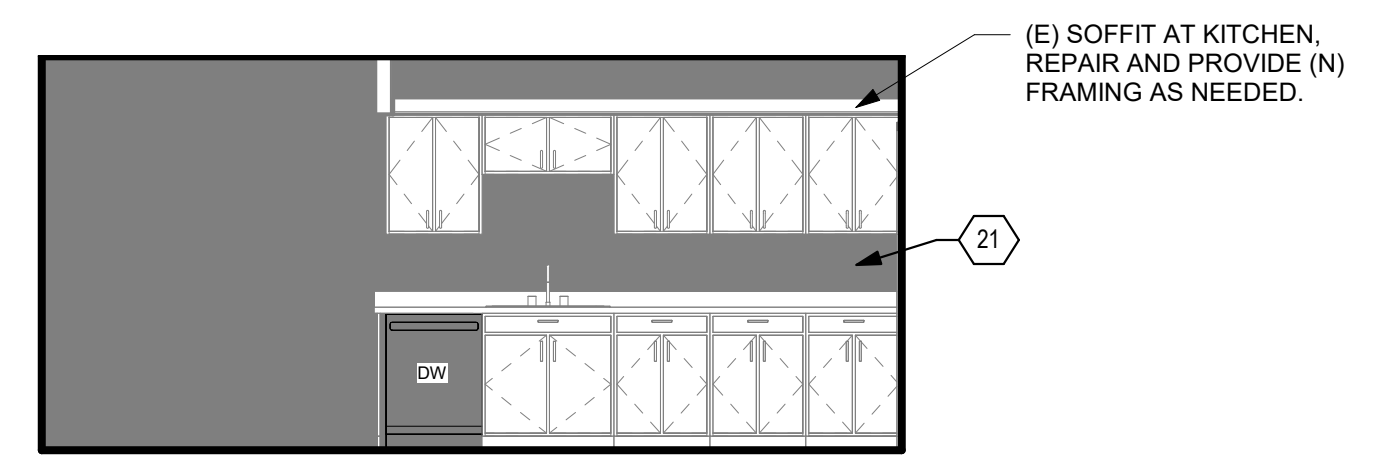
6 INTERIOR ELEVATION - K125 - 1B
SCALE: 1/4" = 1'-0"



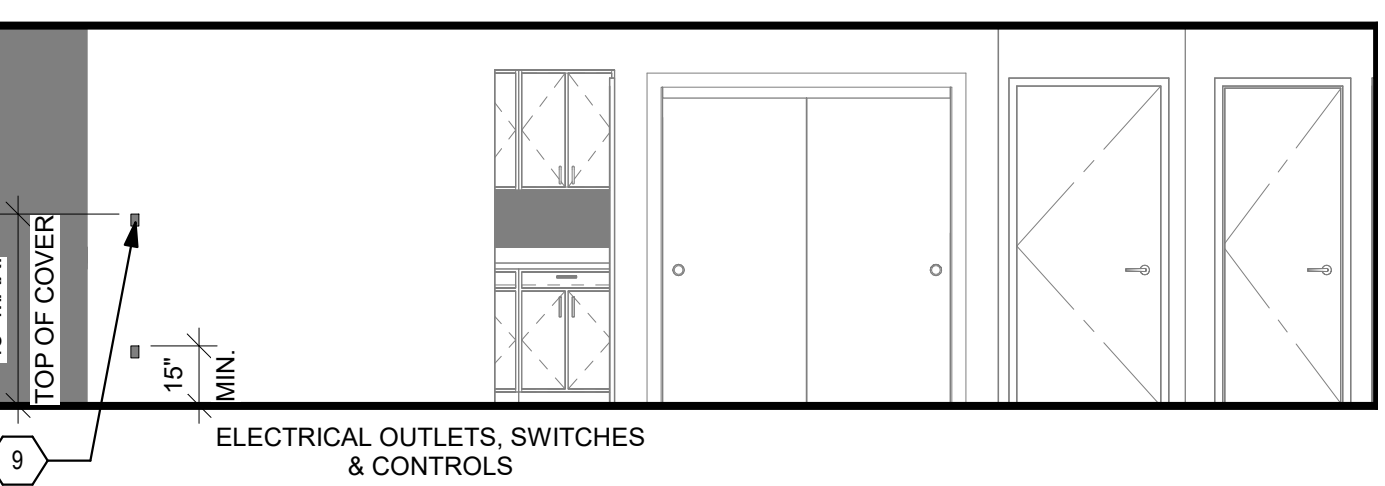
5 INTERIOR ELEVATION - K125 - 1A
SCALE: 1/4" = 1'-0"



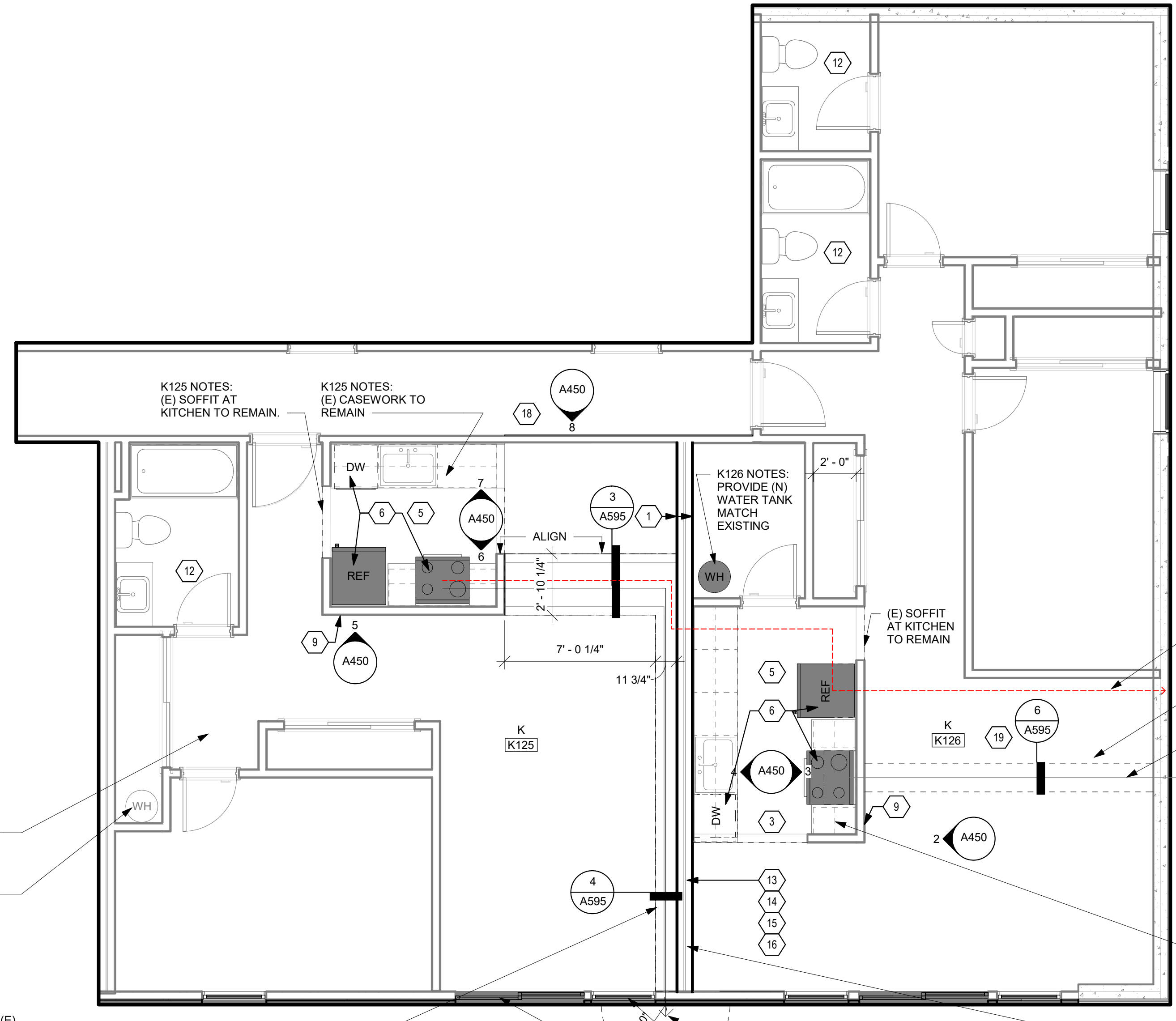
3 INTERIOR ELEVATION - K126 - 1B
SCALE: 1/4" = 1'-0"



4 INTERIOR ELEVATION - K126 - 1C
SCALE: 1/4" = 1'-0"



2 INTERIOR ELEVATION - K126 - 1A
SCALE: 1/4" = 1'-0"



K125 NOTES: (E) SOFFIT AT KITCHEN TO REMAIN.

K125 NOTES: (E) CASEWORK TO REMAIN

K126 NOTES: PROVIDE (N) WATER TANK MATCH EXISTING

DEMO (E) EXHAUST DUCT FROM UNIT K125

K126 NOTES: (E) CEILING TO MAINTAIN.

K126 NOTES: (E) KITCHEN EXHAUST IN FLOOR JOIST TO MAINTAIN. VERIFY LOCATION, AND JOISTS IN FIELD.

K126 NOTES: REUSE (E) CASEWORK TO THE EXTEND POSSIBLE

AT UNIT PARTI WALL, PROVIDE 1-HR RATED WALL. SEE WALL ASSEMBLY 99 AND GA # REFERENCE ON SHEET A595

K125 NOTES: (E) CEILING TO MAINTAIN.

K125 NOTES: (E) HOT WATER TANK TO REMAIN

K125 NOTES: KITCHEN EXHAUST DUCTING. REMOVE (E) DUCTING PORTION THAT CROSSES INTO UNIT K126, REROUTE TO EXTERIOR TOWARD BALCONY. COORDINATE AND PROVIDE (N) EXHAUST VENT SHROUD 3'-0" CLEARANCE FROM OPERABLE WINDOWS AND DOORS. INSTALL (N) SOFFIT TO HOUSE DUCTWORK.

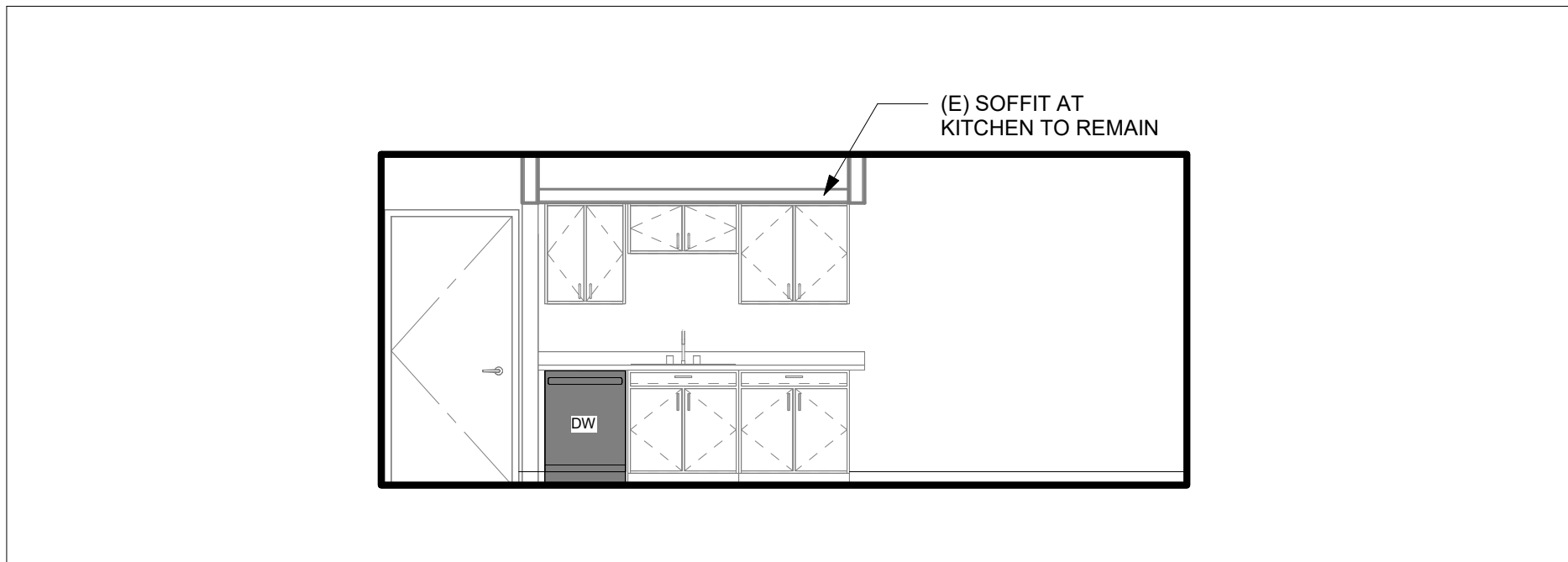
(N) EXHAUST VENT SHROUD, SEE 5/ A595

(E) FIXED WINDOW

(E) SLIDING DOOR

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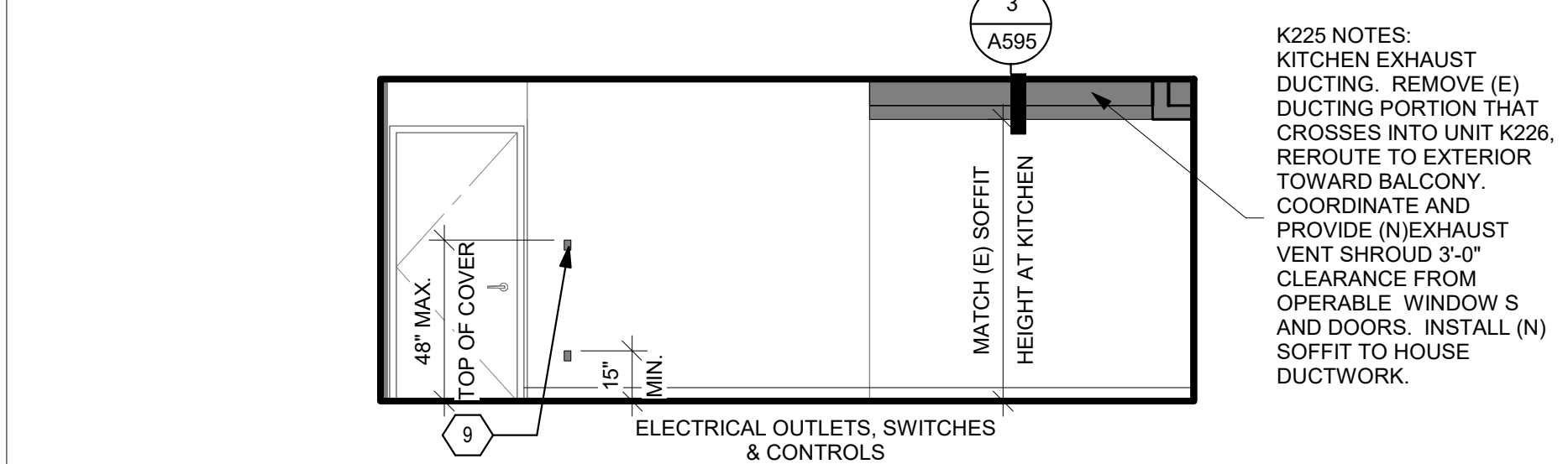
GENERAL NOTES APPLIED THROUGH OUT ALL UNITS, K125-K326	
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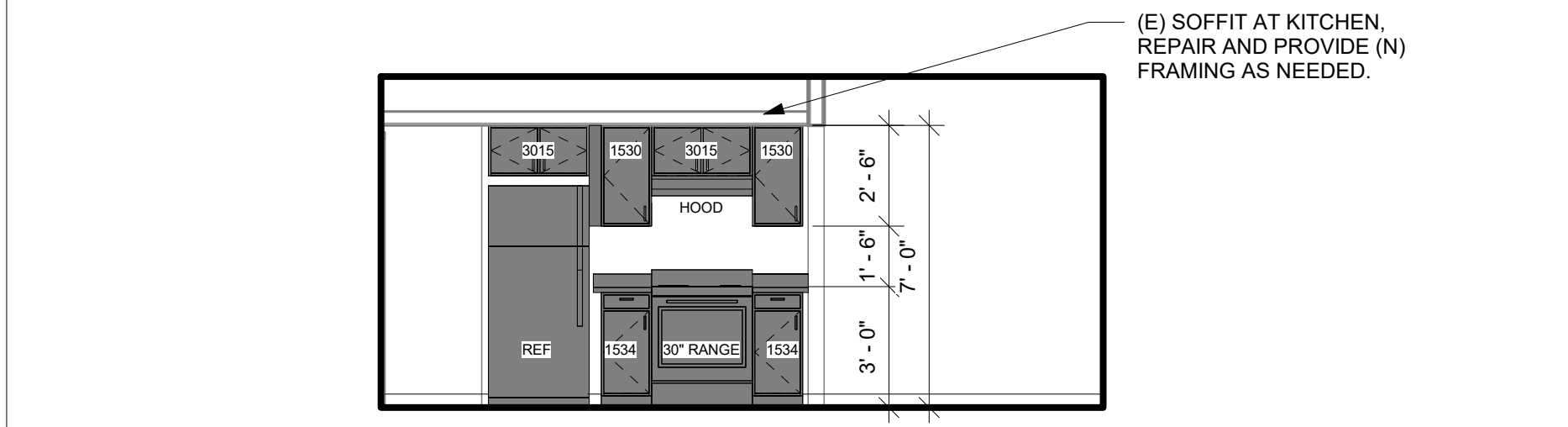
7 INTERIOR ELEVATION - K225 - 1C
SCALE: 1/4" = 1'-0"



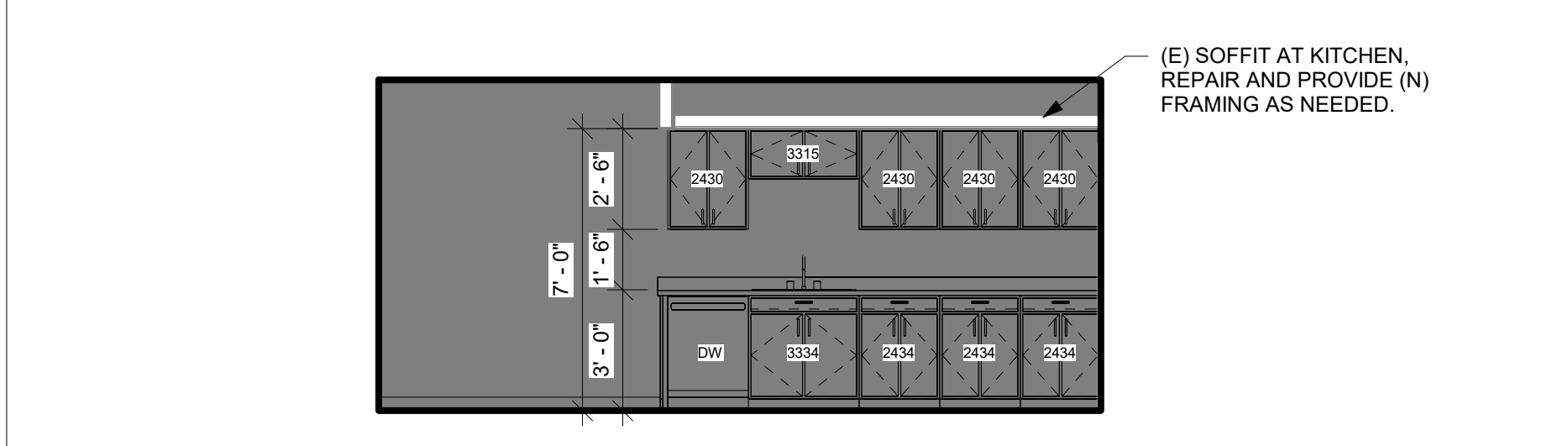
6 INTERIOR ELEVATION - K225 - 1B
SCALE: 1/4" = 1'-0"



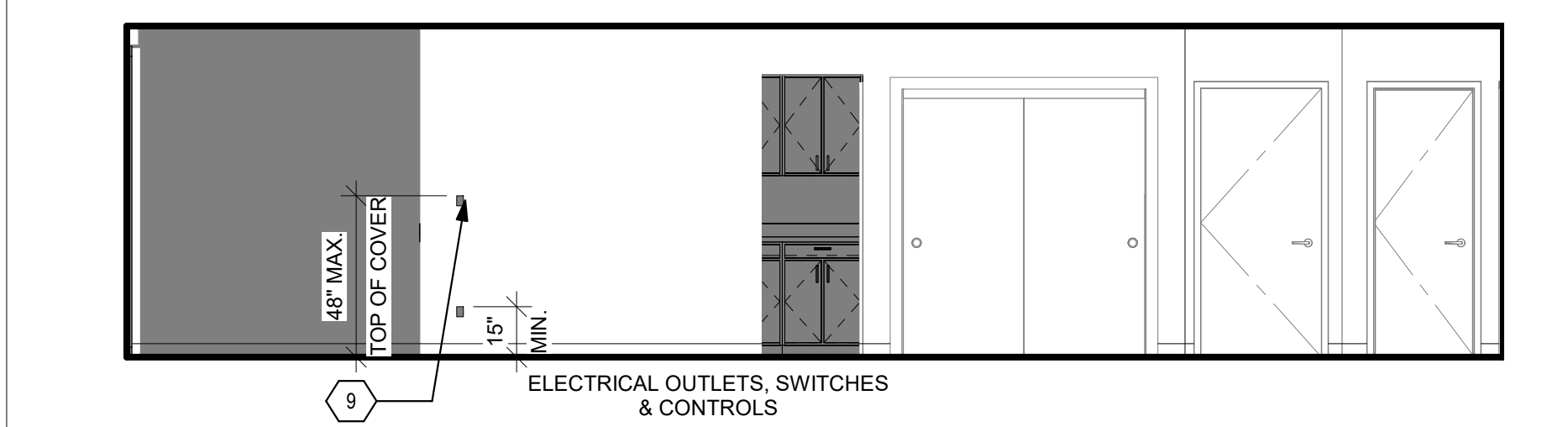
5 INTERIOR ELEVATION - K225 - 1A
SCALE: 1/4" = 1'-0"



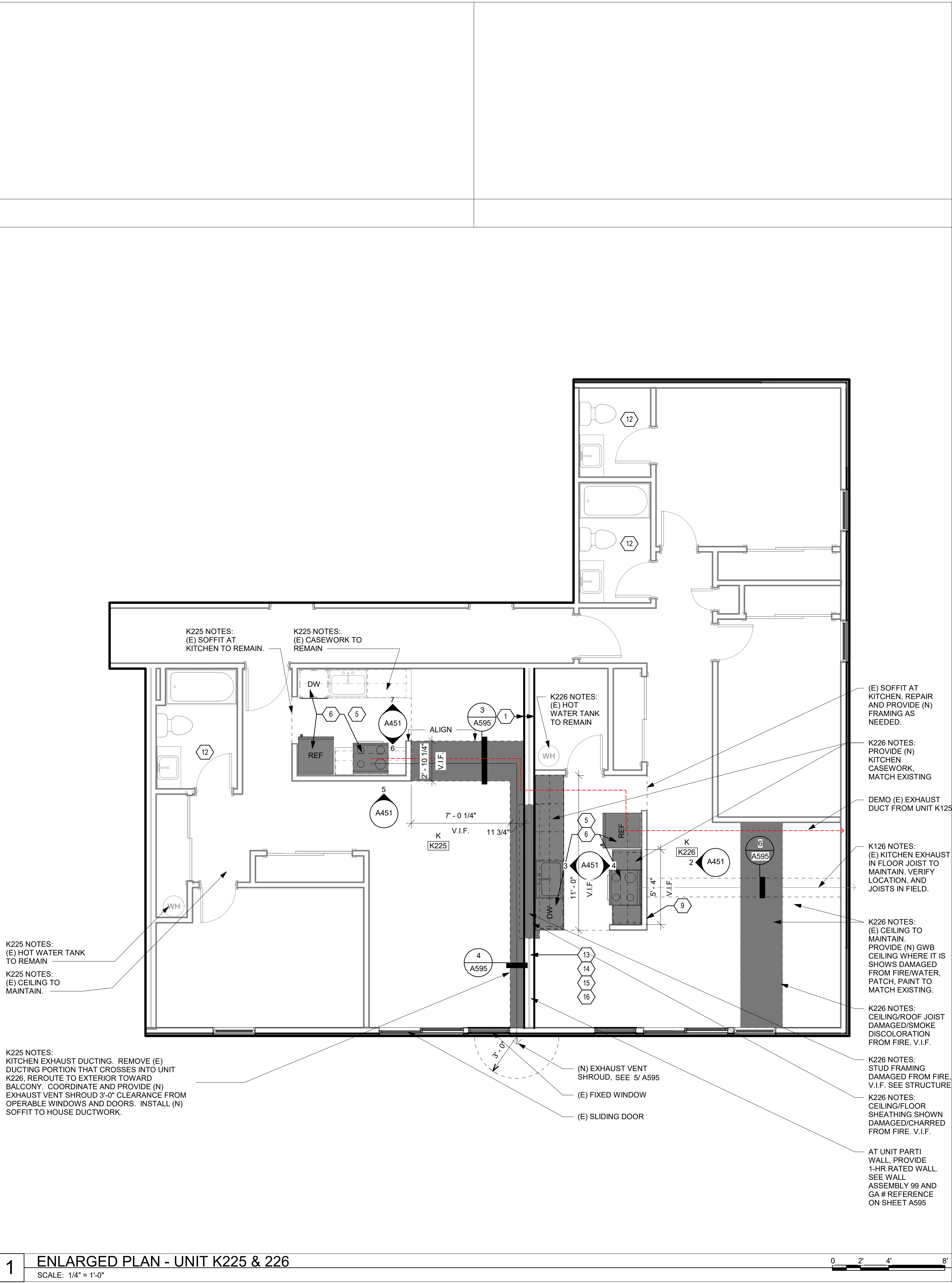
4 INTERIOR ELEVATION - K226 - 1C
SCALE: 1/4" = 1'-0"



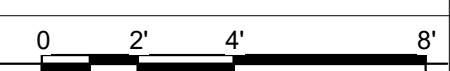
3 INTERIOR ELEVATION - K226 - 1B
SCALE: 1/4" = 1'-0"



2 INTERIOR ELEVATION - K226 - 1A
SCALE: 1/4" = 1'-0"



1 ENLARGED PLAN - UNIT K225 & K226
SCALE: 1/4" = 1'-0"



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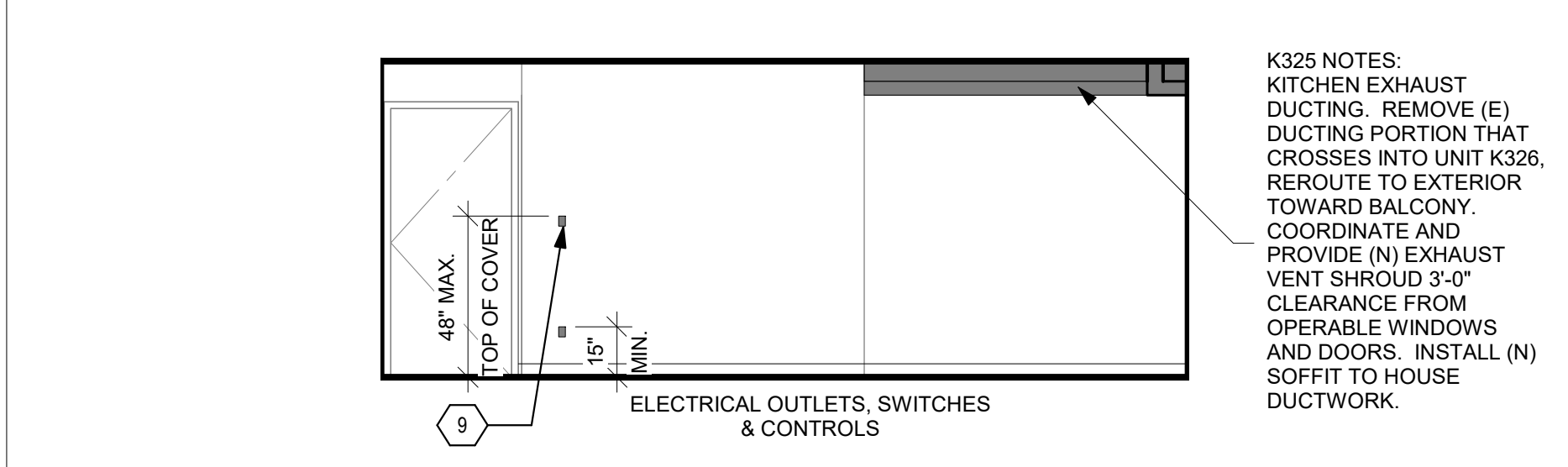
GENERAL NOTES APPLIED THROUGH OUT ALL UNITS, K125-K326	
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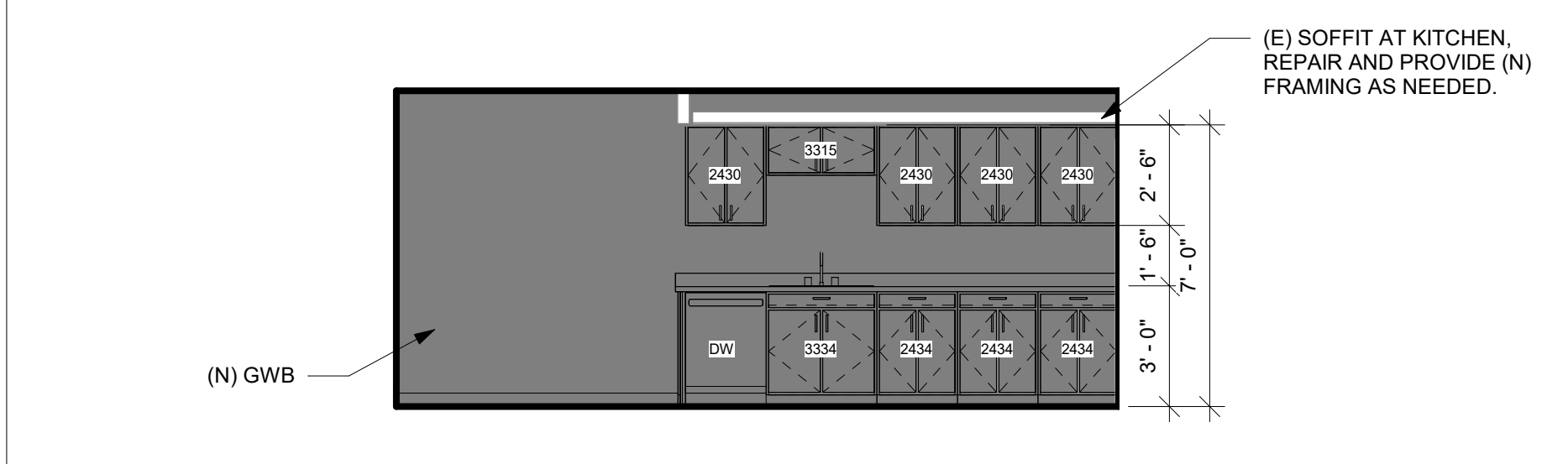
7 INTERIOR ELEVATION - K325 - 1C
SCALE: 1/4" = 1'-0"



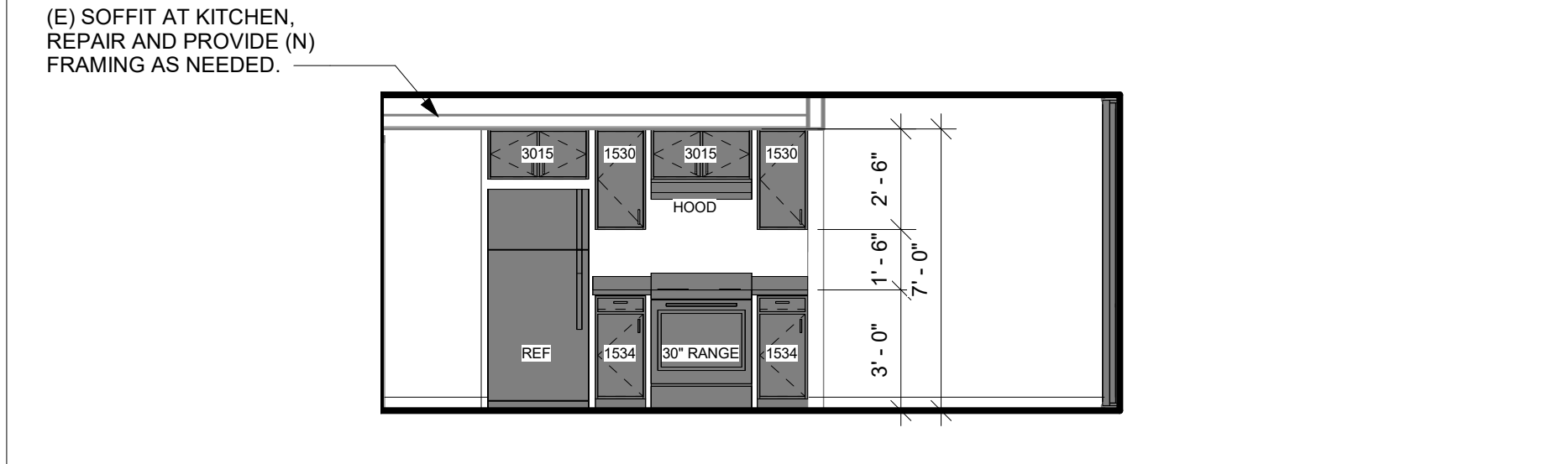
6 INTERIOR ELEVATION - K325 - 1B
SCALE: 1/4" = 1'-0"



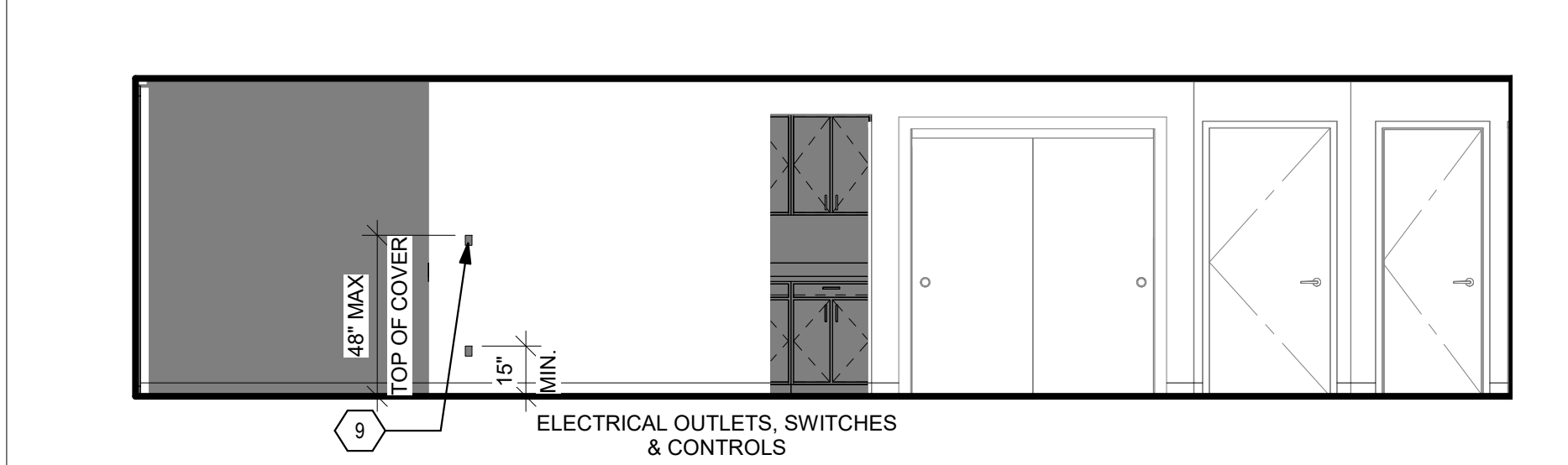
5 INTERIOR ELEVATION - K325 - 1A
SCALE: 1/4" = 1'-0"



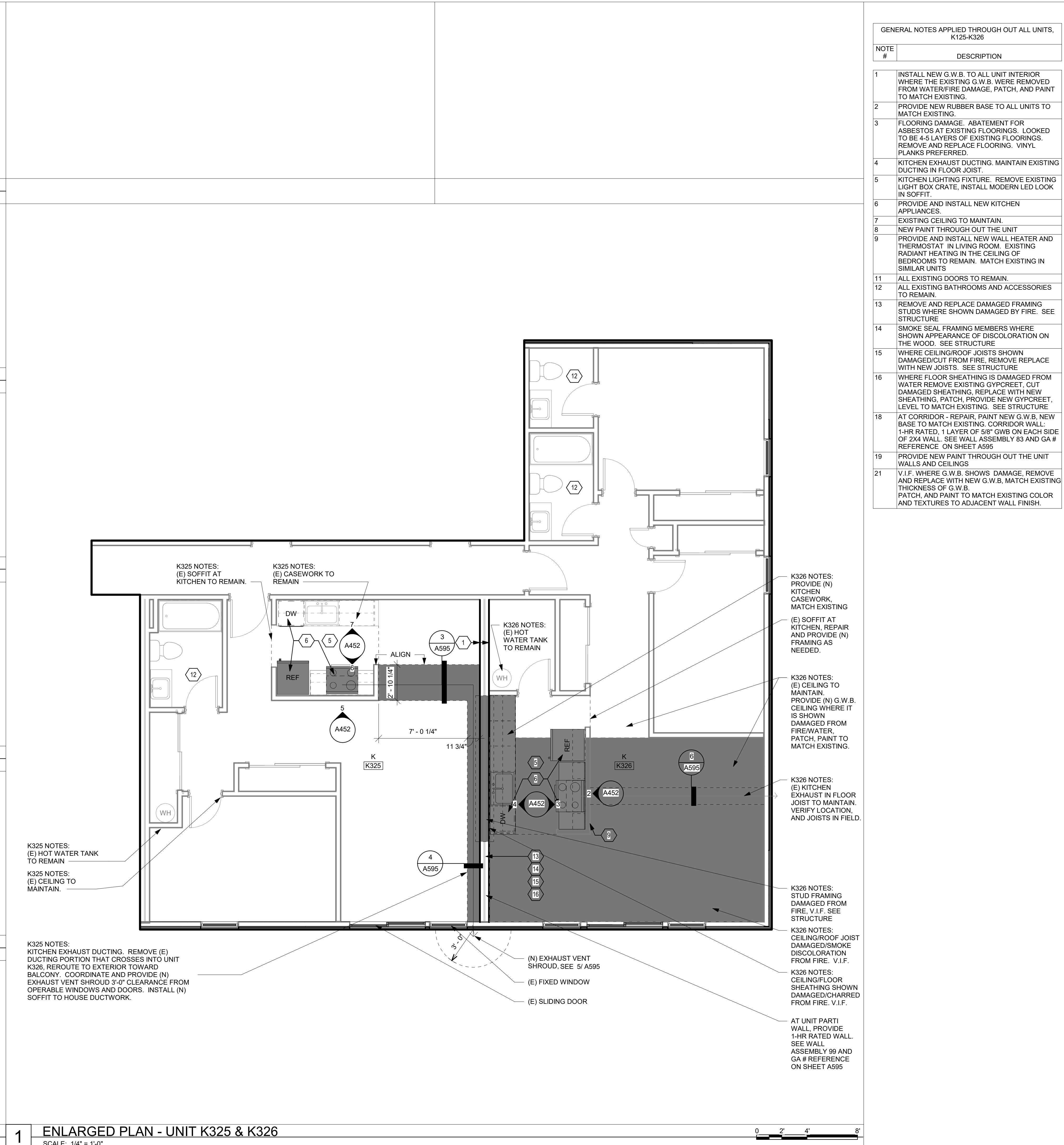
4 INTERIOR ELEVATION - K326 - 1C
SCALE: 1/4" = 1'-0"



3 INTERIOR ELEVATION - K326 - 1A
SCALE: 1/4" = 1'-0"



2 INTERIOR ELEVATION - K326 - 1B
SCALE: 1/4" = 1'-0"

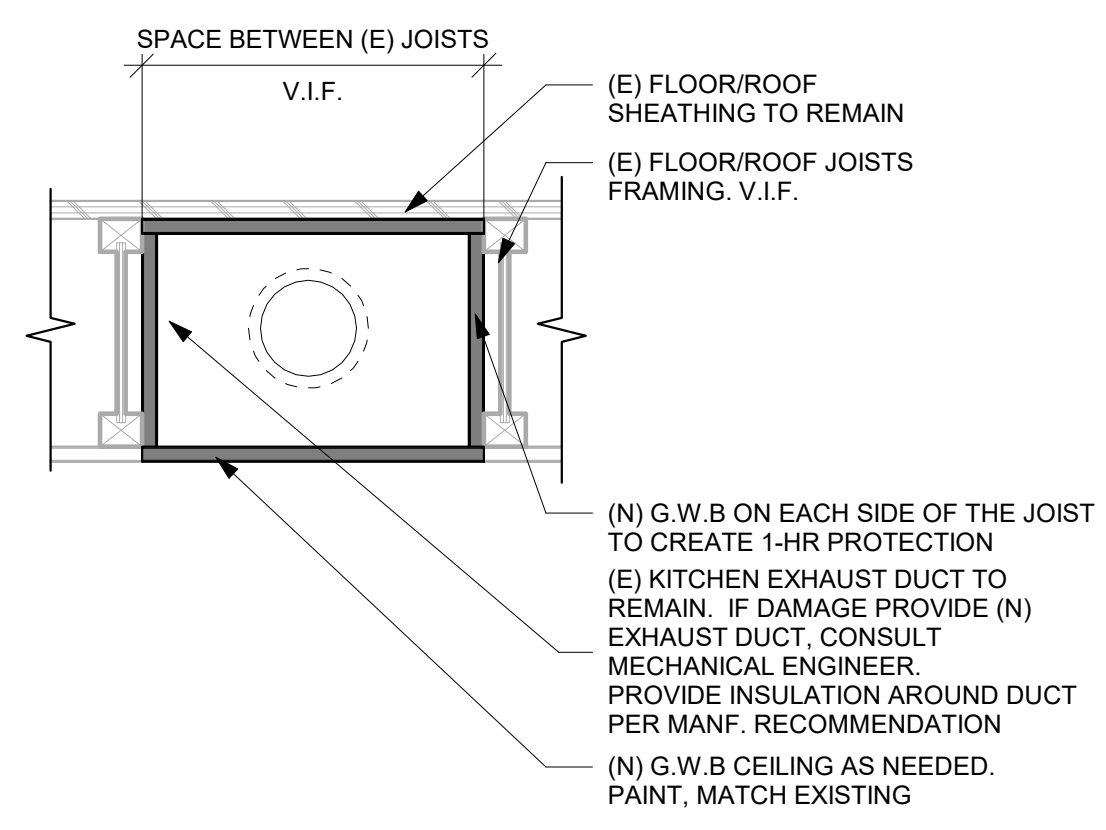


1 ENLARGED PLAN - UNIT K325 & K326
SCALE: 1/4" = 1'-0"

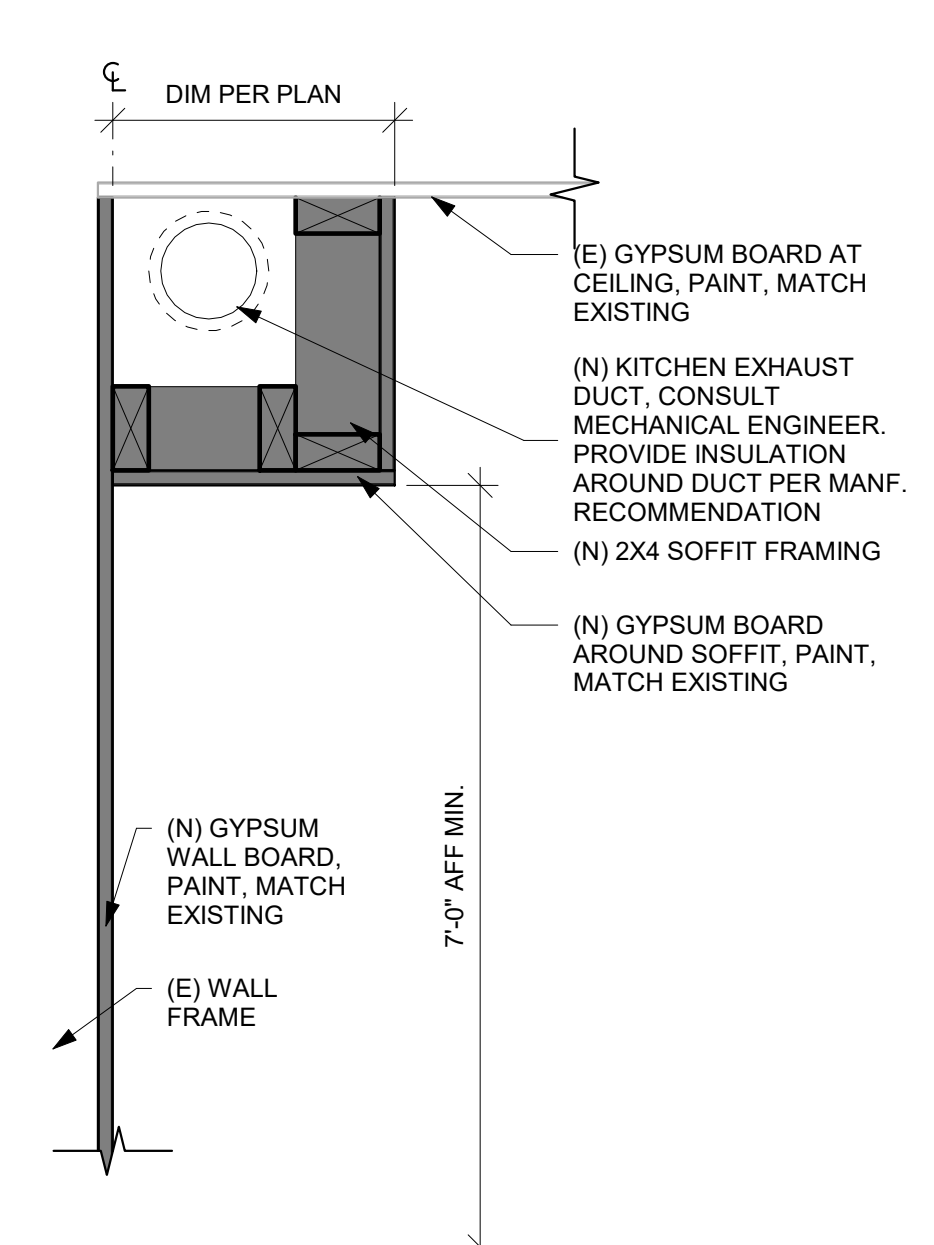
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WALL ASSEMBLY TYPES: INTERIOR WALLS

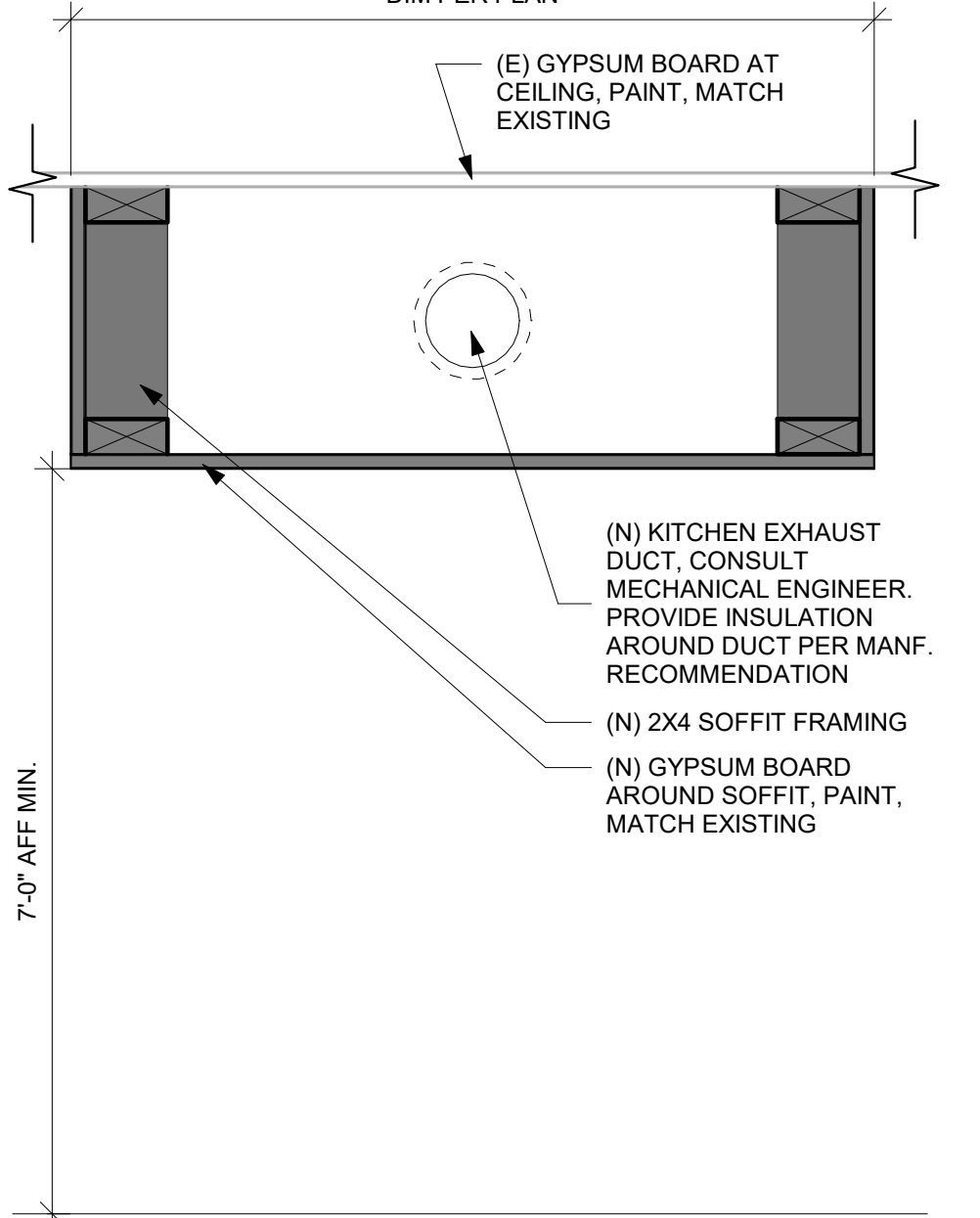
NO.	DIAGRAM	ASSEMBLY COMPONENTS	FIRE RATING & REPORT NO.	S.T.C. RATING & REPORT NO.	THERMAL VALUE
83		<ul style="list-style-type: none"> (1) LAYER 5/8" TYPE "X" GWB 2x4 WOOD STUD @ 16" O.C. MIN/24" O.C. MAX (1) LAYER 5/8" TYPE "X" GWB 	1HR GA FILE NO. WP 3510	-	-
99		<ul style="list-style-type: none"> (1) LAYER 5/8" TYPE "X" GWB 3-1/2" FIBERGLASS BATT INSULATION 2x4 WOOD STUD @ 16" O.C. 1" AIR SPACE 2x4 WOOD STUD @ 16" O.C. 3-1/2" FIBERGLASS BATT INSULATION (1) LAYER 5/8" TYPE "X" GWB 	1HR GA FILE NO. WP 3112	55-59 STC GA FILE NO. WP 3112	-



6 SECTION - EXHAUST DUCT WITH G.W.B. IN FLOOR/ROOF JOISTS
SCALE: 1 1/2" = 1'-0"



4 SECTION - SOFFIT AT WALL
SCALE: 1 1/2" = 1'-0"



3 SECTION - SOFFIT
SCALE: 1 1/2" = 1'-0"

WALLS AND INTERIOR PARTITIONS, WOOD FRAMED

GA FILE NO.	PROPRIETARY	1 HOUR FIRE	55 to 59 STC SOUND
WP 3112			

GYPSUM PANELS, WOOD STUDS, INSULATION

Fire Design:
One layer 5/8" proprietary type X gypsum panel applied parallel or at right angles to each side of double row of 2 x 4 wood studs spaced 16" o.c. on separate plates with 1-7/8" Type W screws at 7" o.c. No minimum airspace between rows of studs. 3-1/2" glass fiber insulation friction fit to fill stud cavity on both sides. Joints staggered 16" on opposite side. **(LOAD-BEARING)**

Sound Design:
Sound tests constructed with 1" airspace between rows of studs.

PROPRIETARY GYPSUM PANEL
PABCO® Gypsum
- 5/8" FLAME CURB® Type X

Thickness: 8-1/4" (Fire)
9-1/4" (Sound)

Approx. Weight: 7.0 psf (Fire and Sound)

Fire Test: R7094, 07CA62988, 04-01-2008, UL Design U341

Sound Test: NOAL 17-1107, 11-06-2017

GA FILE NO.	GENERIC	1 HOUR FIRE
WP 3510		

GYPSUM WALLBOARD, WOOD STUDS

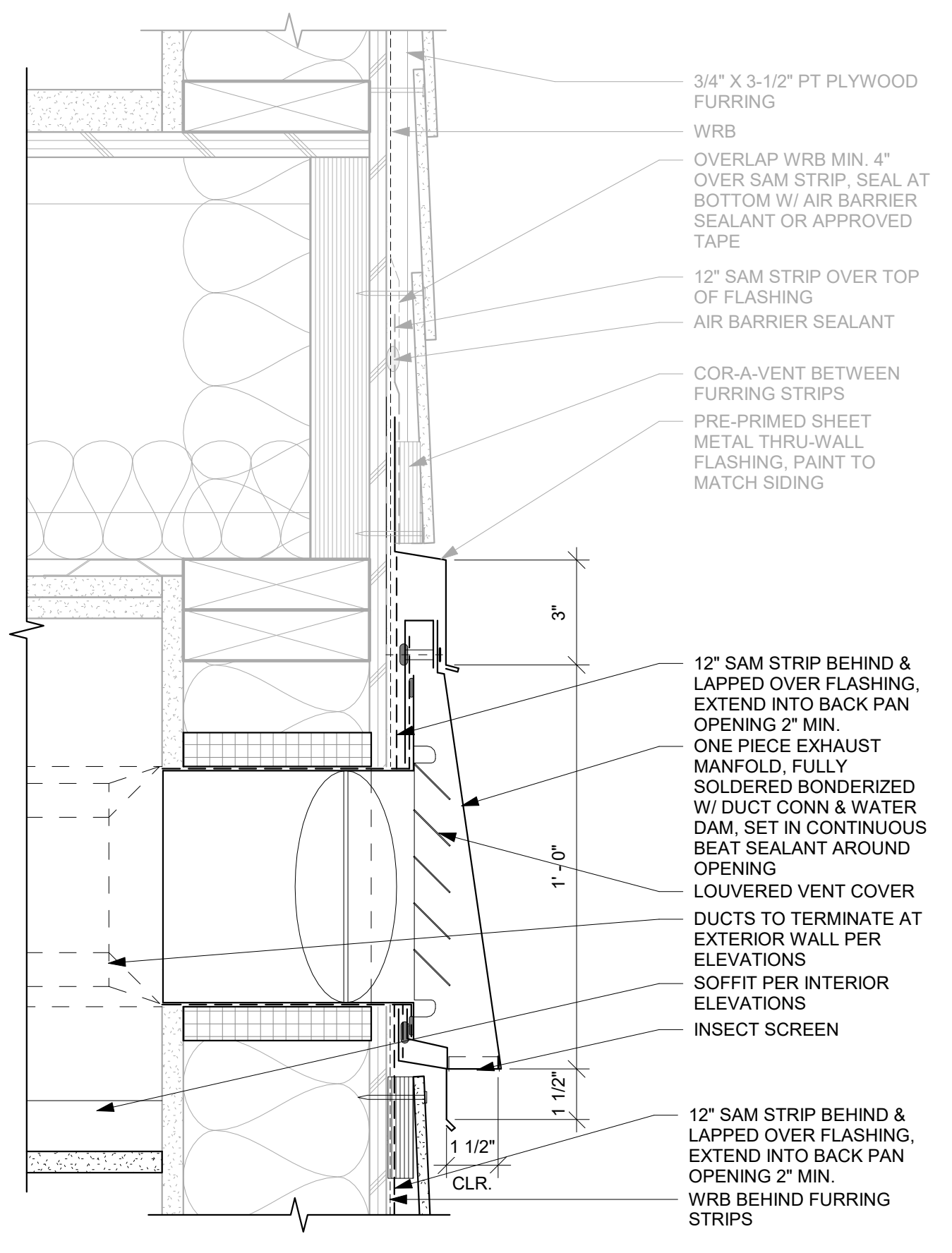
Fire Design:
One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of 2 x 4 wood studs 24" o.c. with 6d coated nails, 1-7/8" long, 0.0915" shank, 1/4" heads, 7" o.c. Joints staggered 24" on opposite sides. **(LOAD-BEARING)**

Thickness: 4-7/8" (Fire)

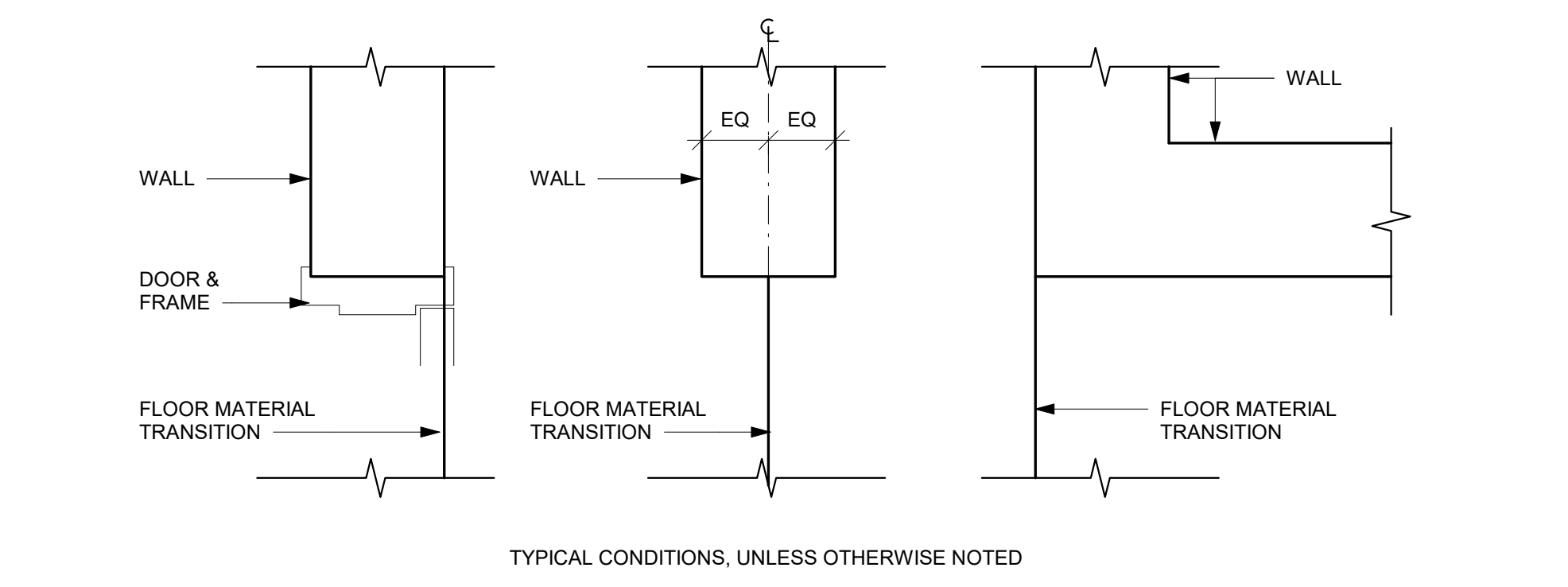
Approx. Weight: 7 psf (Fire)

Fire Test: UL R3501-47, -48, 9-17-65, UL Design U309, UL R1319-129, 7-22-70, UL Design U314

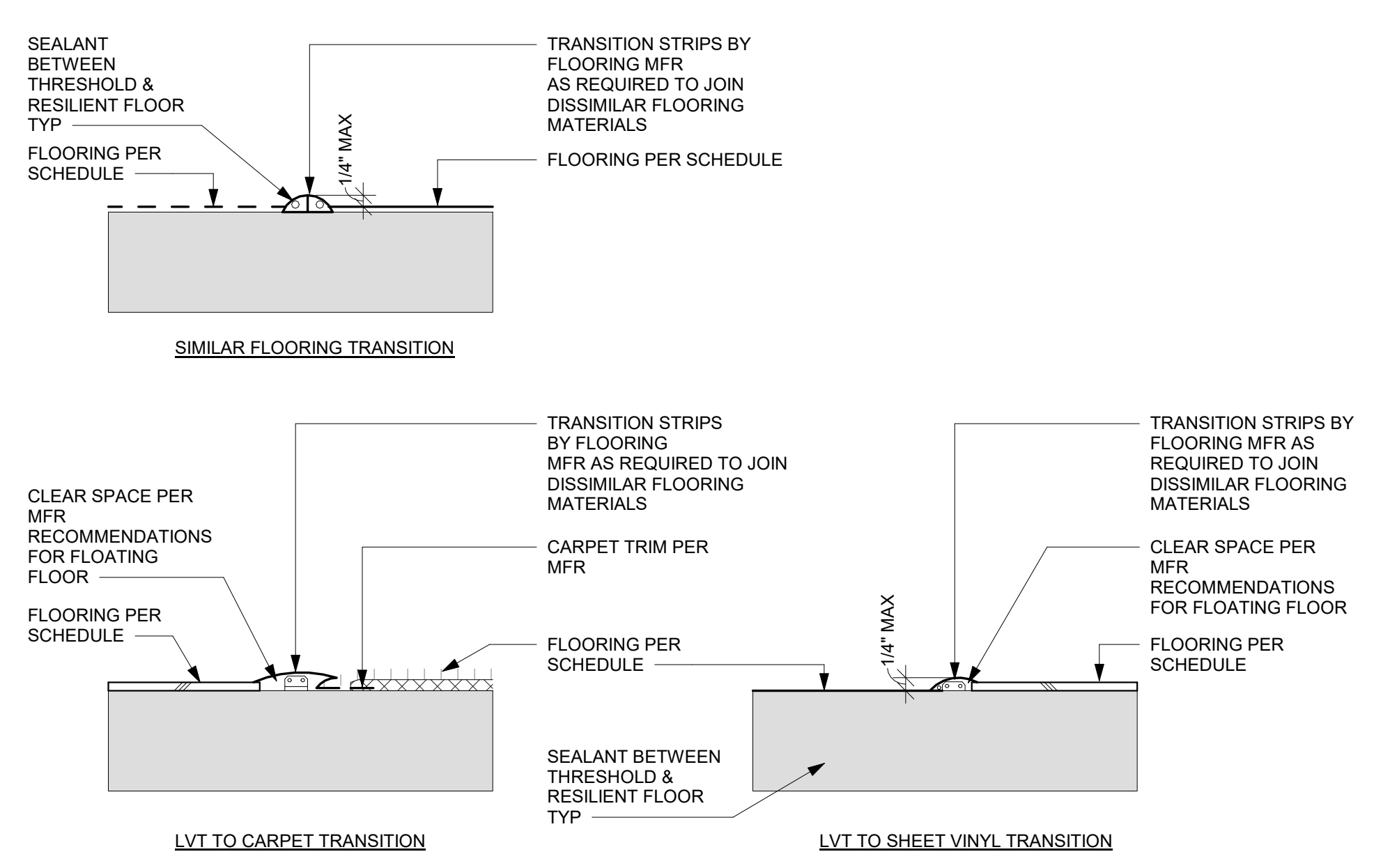
The descriptions in this manual are summaries. For complete assembly information, review the listed design.
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5 SECTION - EXHAUST VENT SHROUD @ LAP SIDING
SCALE: 3" = 1'-0"



2 PLAN - TYP FLOOR MATERIAL TRANSITIONS
SCALE: 3" = 1'-0"



1 SECTION - TYP FLOOR MATERIAL TRANSITIONS
SCALE: 3" = 1'-0"



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CASCADIAN APARTMENTS

BUILDING K
15320 NE 11TH ST 98007



ISSUED SETS	NO	DATE	DESCRIPTION
	10/29/24		PERMIT SET

REVISIONS / NOTES	NO	DATE	DESCRIPTION

AHJ STAMP

TITLE
DETAILS - EXTERIOR, ASSEMBLIES, FINISH

PERMIT #	
DRAWN	KTD
CHECKED	DK, AP
ISSUE DATE	10/29/24
PROJECT #	24022
SHEET #	

A595

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

CRITERIA

1. ALL NEW MATERIALS, WORKMANSHIP, DESIGN AND CONSTRUCTION FOR NEW SCOPE OF WORKS AREAS SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2021 EDITION) EXISTING COMPONENTS AND STRUCTURAL SYSTEMS NOT RELATED TO THE NEW SCOPE OF WORK WERE NOT ANALYZED FOR CODE COMPLIANCE.

DESIGN LOADING CRITERIA

$$\begin{aligned} \text{FLAT-ROOF SNOW LOAD, } F_p &= 25 \text{ PSF} \\ \text{GROUND SNOW LOAD, } F_g &= 25 \text{ PSF} \\ C_e &= 1.0 \\ C_d &= 1.0 \\ C_s &= 1.0 \\ C_t &= 1.0 \end{aligned}$$

FLOOR LIVE LOAD (RESIDENTIAL) 40 PSF

DESIGN LOADING CRITERIA - DEAD LOADS

ROOF DEAD LOAD 18 PSF
FLOOR DEAD LOAD (RESIDENTIAL FLOORS) 18 PSF

3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL AND ALL OTHER DISCIPLINES' DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

DISCREPANCIES: THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING DURING THE BIDDING PERIOD OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR OF ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF SUCH INFORMATION, THE ENGINEER WILL SEND WRITTEN INSTRUCTIONS TO ALL CONCERNED. ANY SUCH DISCREPANCY, OMISSION, OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND WORK SHALL BE PERFORMED IN A MANNER AS DIRECTED BY THE ENGINEER.

4. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE FIELD VERIFIED BY THE CONTRACTOR OR THE CONTRACTOR'S SUBCONTRACTOR.

5. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS, ERECTION PLANS AND INSTALLATION OF SHORING SYSTEMS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND THE SHORING SUPPLIER. THE SHORING SHALL NOT BE SUPPORTING ON THE EXISTING STRUCTURE.

CHANGES IN FIELD CONDITIONS DURING CONSTRUCTION WILL REQUIRE RE-EVALUATION BY THE CONTRACTOR AND THEIR SHORING INSTALLER.

6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK.

7. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ONLY ON SHOP DRAWINGS WILL NOT SATISFY THIS REQUIREMENT.

8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN. SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.

9. ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF FIELD ERECTED COMPONENTS SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

WOOD

10. FRAMING LUMBER SHALL BE KILN DRIED, AND GRADED AND MARKED IN CONFORMANCE WITH U.S.L.B. STANDARD GRADING RULES FOR WEST COAST LUMBER NO. 11, LATEST EDITION. FURNISH TO THE FOLLOWING MINIMUM STANDARDS, UNLESS OTHERWISE NOTED ON THE PLANS:

JOISTS: (2 X MEMBERS) DOUG FIR #1
MINIMUM BASIC DESIGN STRESS, FB = 900 PSI

(3 X AND 4 X MEMBERS) DOUG FIR #1
MINIMUM BASIC DESIGN STRESS, FB = 1000 PSI

BEAMS AND STRINGERS (INCLUDING 6 X 10 AND LARGER MEMBERS) DOUG FIR #1
MINIMUM BASIC DESIGN STRESS, FB = 1350 PSI

POSTS AND TIMBERS: (6 X 6 AND LARGER) DOUG FIR #1
MINIMUM BASIC DESIGN STRESS, FB = 1500 PSI

PLATES & MISCELLANEOUS LIGHT FRAMING DOUG FIR STUD GRADE
MINIMUM BASIC DESIGN STRESS, FB = 1000 PSI

STRUCTURAL WALL STUDS DOUG FIR STUD GRADE
MINIMUM BASIC DESIGN STRESS, FB = 1000 PSI

BOLTED FRAMING: NAILERS, LEDGERS, AND PLATES DOUG FIR #1
MINIMUM BASIC DESIGN STRESS, FB = 900 PSI

FRAMING MEMBERS NOTED AS PRESSURE TREATED (PT) (LEDGERS, STUDS, POSTS, PLATES, JOISTS & BEAMS) HEM FIR #1
MINIMUM BASIC DESIGN STRESS, FB = 850 PSI

PT PLATES AT ALL STRUCTURAL WALLS FOR 2 (2) STORIES DOUG FIR STUD GRADE
MINIMUM BASIC DESIGN STRESS, FB = 1000 PSI

11. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ANSI / AITC A190-1:2012, AMERICAN NATIONAL STANDARDS INSTITUTE AND ASTM D3131-18. EACH MEMBER SHALL BEAR AN AITC IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, $F_b = 2400$ PSI, $F_v = 165$ PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, $F_b = 2400$ PSI, $F_v = 165$ PSI. CAMBER ALL GLULAM BEAMS TO 2,000 FT RADIUS UNLESS SHOWN OTHERWISE ON THE PLANS. USE "GLT" SERIES HANGERS AS REQUIRED TO FIT GLULAM BEAMS UON.

12. ENGINEERED LUMBER SHALL BE DESIGNED AND MANUFACTURED TO THE STANDARDS SET FORTH IN ASTM D5456, ICC E8 REPORT ESR-1381, AND THE CANADIAN CONSTRUCTION MATERIALS CENTRE (CMC) REPORTS NO. 1161-R (PSL ONLY) AND 1061-R (SL ONLY). EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, THE NATIONAL RESEARCH BOARD NUMBER, AND THE QUALITY CONTROL AGENCY. ALL MEMBERS ARE TO BE FREE OF MECHANICAL CONNECTIONS IN FULL-LENGTH MEMBERS. ADHESIVES SHALL BE OF THE WATERPROOF TYPE CONFORMING TO THE REQUIREMENTS OF ASTM D-7599.

PARALLEL STRAND LUMBER (PSL) $F_b = 2300$ PSI, $E = 1.2 \times 10^6$ PSI, $F_v = 285$ PSI
LAMINATED STRAND LUMBER (LSL) $F_b = 2750$ PSI, $E = 1.5 \times 10^6$ PSI, $F_v = 400$ PSI
LAMINATED VENEER LUMBER (LVL) $F_b = 2800$ PSI, $E = 2.0 \times 10^6$ PSI, $F_v = 270$ PSI

DESIGN SHOWN ON PLANS IS BASED ON THE ABOVE MINIMUM MATERIAL PROPERTIES. ALTERNATE PRODUCTS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL PARALLEL BEAM HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH BEAM PROVIDED. USE "GLT" SERIES HANGERS AS REQUIRED TO FIT BEAM UON.

13. PLYWOOD AND OSB SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC P81 AND DOC P82. SEE PLANS FOR THICKNESS, PANEL IDENTIFICATION INDEX AND NAILING REQUIREMENTS.

14. ALL WOOD MEMBERS EXPOSED TO WEATHER OR IN DIRECT CONTACT WITH SOIL SHALL BE PRESSURE-TREATED WITH ALKALINE COPPER QUATERNARY (ACQ). ALL WOOD MEMBERS (INCLUDING PLATES) IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH SODIUM BORATE (SBX).

ALL METAL CONNECTORS IN CONTACT WITH "ACQ" PRESSURE-TREATED LUMBER SHALL BE TYPE 304 OR 316 STAINLESS STEEL. THIS INCLUDES WASHERS, SCREWS, NAILS, HANGERS, AND ANY OTHER MISCELLANEOUS LT GAGE METAL CONNECTORS, WHERE ACQ LUMBER IS USED IN INTERIOR CONDITIONS. G85 ("HOT-DIP" GALVANIZED TO 125 OUNCES PER SQUARE FOOT) METAL CONNECTORS MAY BE USED IN LIEU OF STAINLESS STEEL. METAL CONNECTORS 1/2" THICK OR GREATER NEED NOT BE GALVANIZED FOR INTERIOR USE. METAL CONNECTORS 1/2" THICK PLUS ARE TO BE GALVANIZED FOR EXTERIOR USE, UNLESS SPECIFIED OTHERWISE BY THE ARCHITECT.

15. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NO. C-2024. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD, UNLESS NOTED OTHERWISE. ALL NAILS SHALL BE COMMON ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

ALL JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "U" SERIES JOIST HANGERS. ALL MULTIPLE JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "14J" SERIES JOIST HANGERS.

B. WOOD FRAMING NOTES - THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.101 OF THE INTERNATIONAL BUILDING CODE UNLESS NOTED OTHERWISE. ALL NAILS SHALL BE COMMON, COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD.

B. WALL FRAMING: ALL STUD WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 2 X 4 STUDS @ 16" O.C. AT INTERIOR WALLS AND 2 X 6 @ 16" O.C. AT EXTERIOR WALLS. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS. TWO 2 X 8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW AT STUD WALLS WITHOUT PLYWOOD SHEATHING. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS LESS THAN OR EQUAL TO 8 FT IN HEIGHT, FOR HEIGHTS GREATER THAN 8 FT, PROVIDE CONTINUOUS SOLID BLOCKING AT 4'-0" O.C.

ALL STUD WALLS ATTACHED TO CONCRETE FOUNDATION WALLS SHALL HAVE THEIR LOWER WOOD PLATES BOLTED WITH 5/8" DIAMETER ANCHOR BOLTS @ 6'-0" O.C. WITH 3" X 3" X 1/4" SQUARE WASHERS OR 3" DIAMETER ROUND WASHERS UNLESS OTHERWISE NOTED. LAYOUT OF WALL PLATES, STUDS, AND ANCHORS SHALL CONFORM TO THE REQUIREMENTS OF SECTION 2008.6 OF THE 2021 IBC. ALL 8" LVL PLATE PIECES SHALL HAVE A MINIMUM OF TWO ANCHOR BOLTS EMBEDDED INTO CONCRETE, WITH THE FIRST ANCHOR BOLT LOCATED NOT MORE THAN 12" FROM THE END OF THE PLATE AND NO CLOSER THAN 4" TO THE END-ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH 1/2" NAILS AT 12" O.C. STAGGERED UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH 1/2" @ 12" O.C. STAGGERED. REFER TO THE PLANS AND SHEAR WALL SCHEDULE FOR REQUIRED SHEATHING AND NAILING. UNLESS OTHERWISE NOTED, PROVIDE GYPSUM WALLBOARD ON INTERIOR SURFACES AND APA RATED WOOD SHEATHING ON EXTERIOR SURFACES NAILED TO ALL STUDS, TOP AND BOTTOM PLATES AND BLOCKING WITH NAILS AT 6" O.C. USE #6 DRYWALL SCREWS FOR 1/2" GUB AND #8 6D DRYWALL SCREWS FOR 5/8" GUB. USE 10D COMMON, GALVANIZED NAILS FOR EXTERIOR SHEATHING.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND MORE THAN ONE-HALF OF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE BRIDGING @ 8' O.C. AND SOLID BLOCKING AT ALL BEARING POINTS. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. PROVIDE SIMPSON H234 CLIPS AT ALL ROOF JOISTS/TRUSSES SUPPORTS.

TOENAIL JOISTS TO SUPPORTS WITH TWO 1/2" NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH 10D @ 12" O.C. STAGGERED.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED WITH 8D NAILS @ 6" O.C. TO FRAMED PANEL EDGES AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" O.C. TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN ROOF JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES OR PROVIDE SOLID BLOCKING AT BLOCKED FLOOR AND ROOF DIAPHRAGMS. INSTALL FLAT 3X BLOCKING AT ALL UNFRAMED PANEL EDGES AND NAIL WITH EDGE NAILING SPECIFIED. TOENAIL BLOCKING TO PLATE WITH 1/2" @ 12" O.C. OR 1/2" @ 16" EACH END AT SUPPORTS UNLESS OTHERWISE NOTED. AT UNBLOCKED DIAPHRAGMS, ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS AT UNBLOCKED EDGES OR SHALL BE SUPPORTED WITH SOLID 2X BLOCKING.

D.	NAILING: MINIMUM NAIL DIAMETER AND LENGTH SHALL BE AS FOLLOWS:	NAIL SIZE ON DRAWINGS OR DETAILS	DIAMETER AND LENGTH
SHEATHING NAILS	8D		Ø13" X 2.25"
	10D		Ø148" X 2.5"
FRAMING NAILS	8D		Ø13" X 2.5"
	10D		Ø148" X 3"
	16D		Ø161" X 3.5"



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CASCADIAN APARTMENTS
FIRE DAMAGE REPAIRS

BUILDINGS K
15264-5267 NE 12TH ST.
BELLEVUE, WA 98007



REVISIONS / NOTES

NO	DATE	DESCRIPTION

AHJ STAMP

TITLE

BUILDING K

GENERAL STRUCTURAL NOTES

PERMIT #	
DRAWN	KMH
CHECKED	VM
ISSUE DATE	10/29/24
PROJECT NO.	24022
SHEET NO.:	

K-S100



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TITLE

BUILDING K

LEVEL 3 FLOOR PLAN

PERMIT #

DRAWN KMH

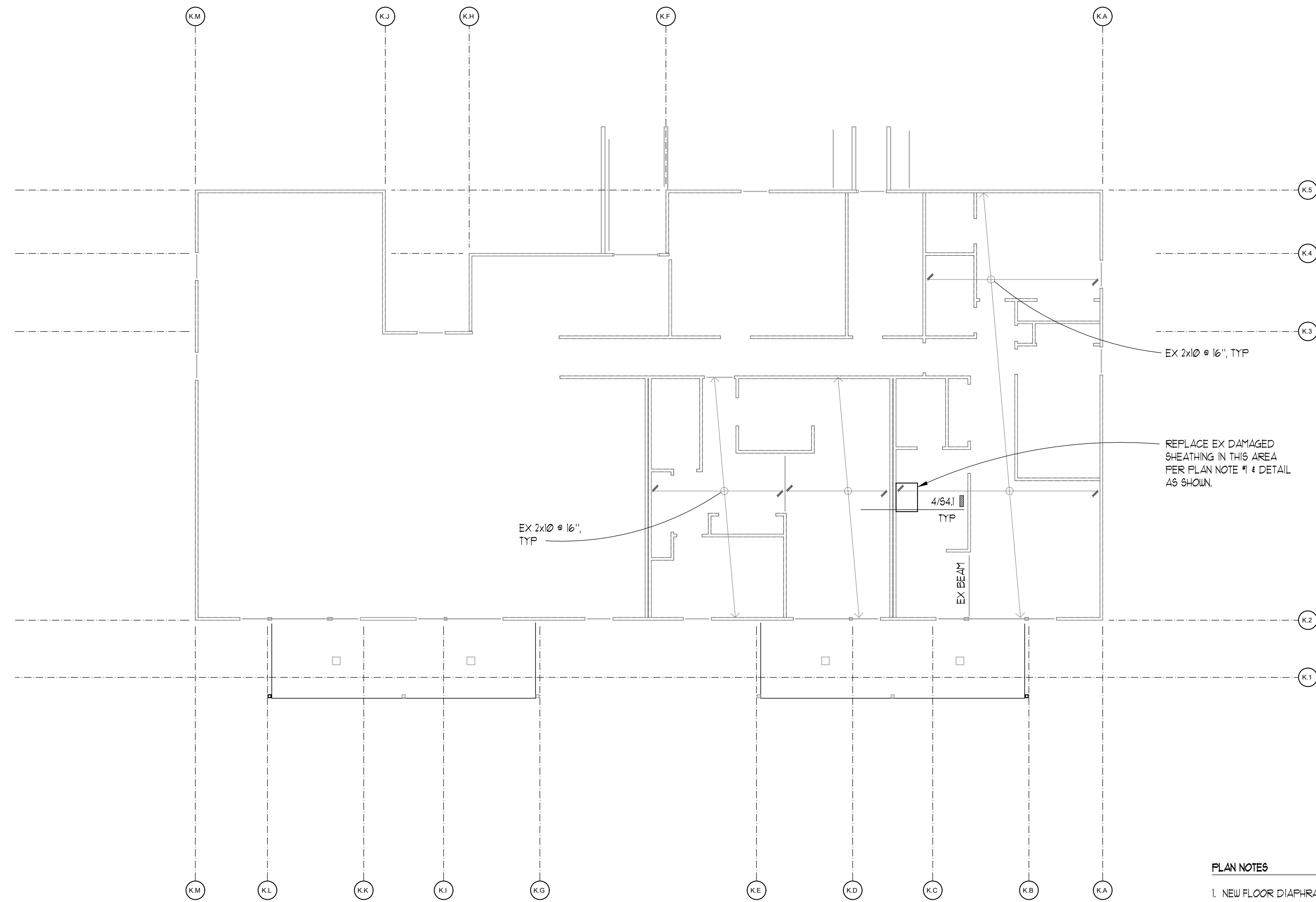
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ISSUE DATE 10/29/24

PROJECT NO. 24022

SHEET NO.:

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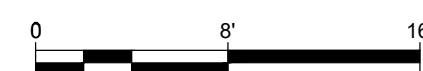


PLAN NOTES

- NEW FLOOR DIAPHRAGM IS TO BE 3/4" CDX PLYWOOD WITH MIN. PANEL INDEX OF 32/16, NAILED WITH 2x4s x 3" NAILS AT:
6"oc AT ALL DIAPHRAGM BOUNDARIES AND SHEAR WALLS
6"oc AT ALL PANEL EDGES (BLOCKED)
12"oc AT FIELD
- INDICATES WALL BELOW.
- INDICATES BEAM OR HEADER PER PLAN.
PROVIDE MIN (2) END STUDS TO SUPPORT NEW BEAMS AND HEADERS
- ↕ INDICATES FRAMING DIRECTION AND EXTENTS.
- SEE 6/541 FOR TOP PLATE SPLICE DETAIL AT NEW PLATES
- SEE 7/541 FOR ALLOWABLE HOLES AND NOTCHES IN STUDS.

1 LEVEL 3 FLOOR PLAN

SCALE: 1/8" = 1'-0"





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TITLE

BUILDING K

ROOF FRAMING PLAN

PERMIT #

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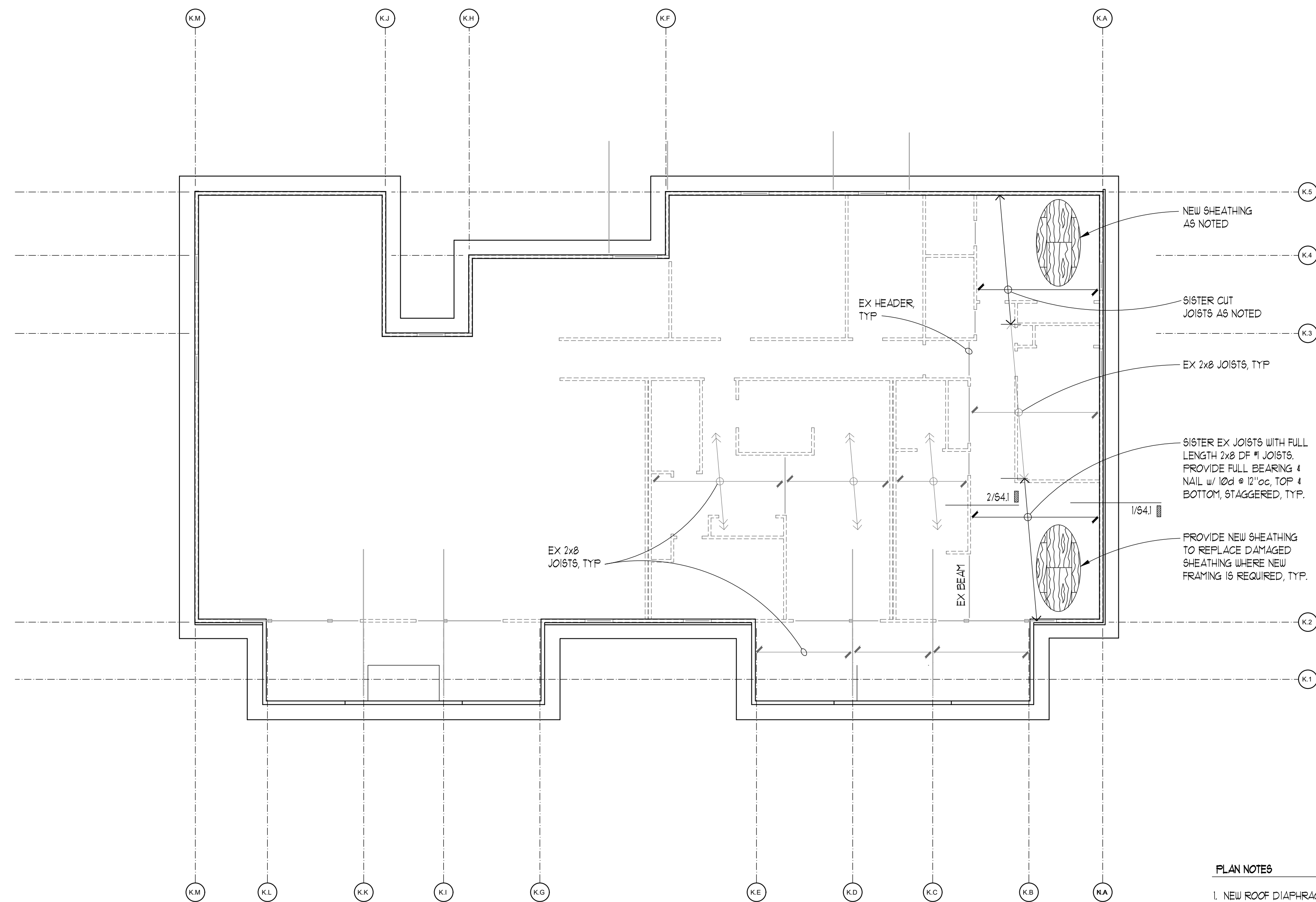
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ISSUE DATE 10/29/24

PROJECT NO. 24022

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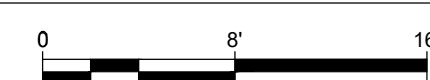


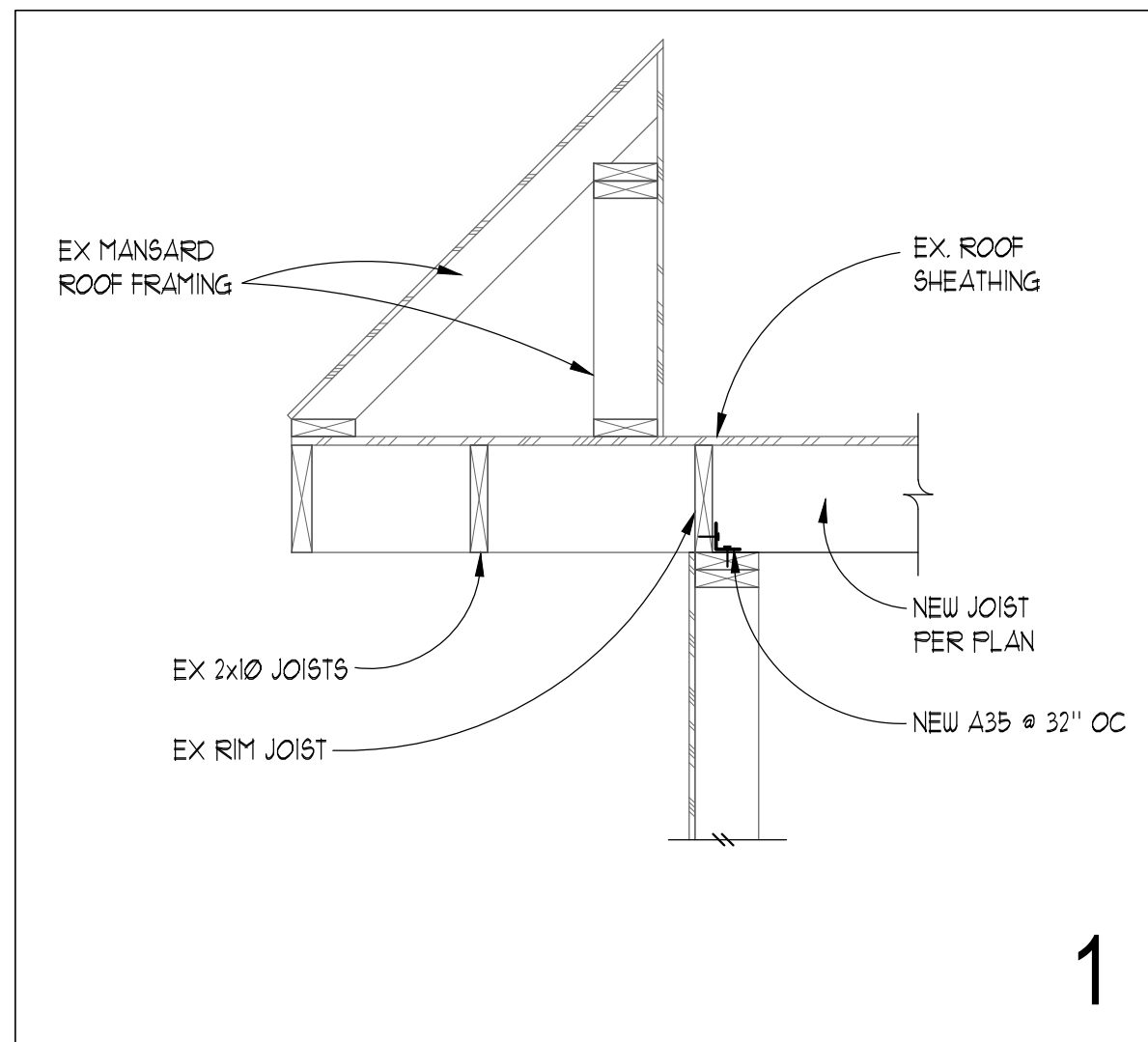
PLAN NOTES

- NEW ROOF DIAPHRAGM IS TO BE 5/8" CDX FLYWOOD w/ MIN. PANEL INDEX OF 32/16, NAILED WITH 10d AT:
 - 6" OC AT ALL DIAPHRAGM BOUNDARIES AND SHEAR WALLS
 - 6" OC AT ALL SUPPORTED PANEL EDGES
 - 6" OC AT FIELD
- INDICATES WALL BELOW.
- INDICATES BEAM OR HEADER PER PLAN. PROVIDE MIN (2) END STUDS TO SUPPORT NEW BEAMS AND HEADERS
- ↔ INDICATES FRAMING DIRECTION AND EXTENTS.
- SEE ARCHITECTURAL PLANS FOR ROOF SLOPES AND ELEVATIONS. ALL FINAL ROOF HEIGHTS ARE PER ARCHITECTURAL DRAWINGS.
- SEE 6/541 FOR TOP PLATE SPLICE DETAIL AT NEW PLATES
- SEE 7/541 FOR ALLOWABLE HOLES AND NOTCHES IN STUDS.

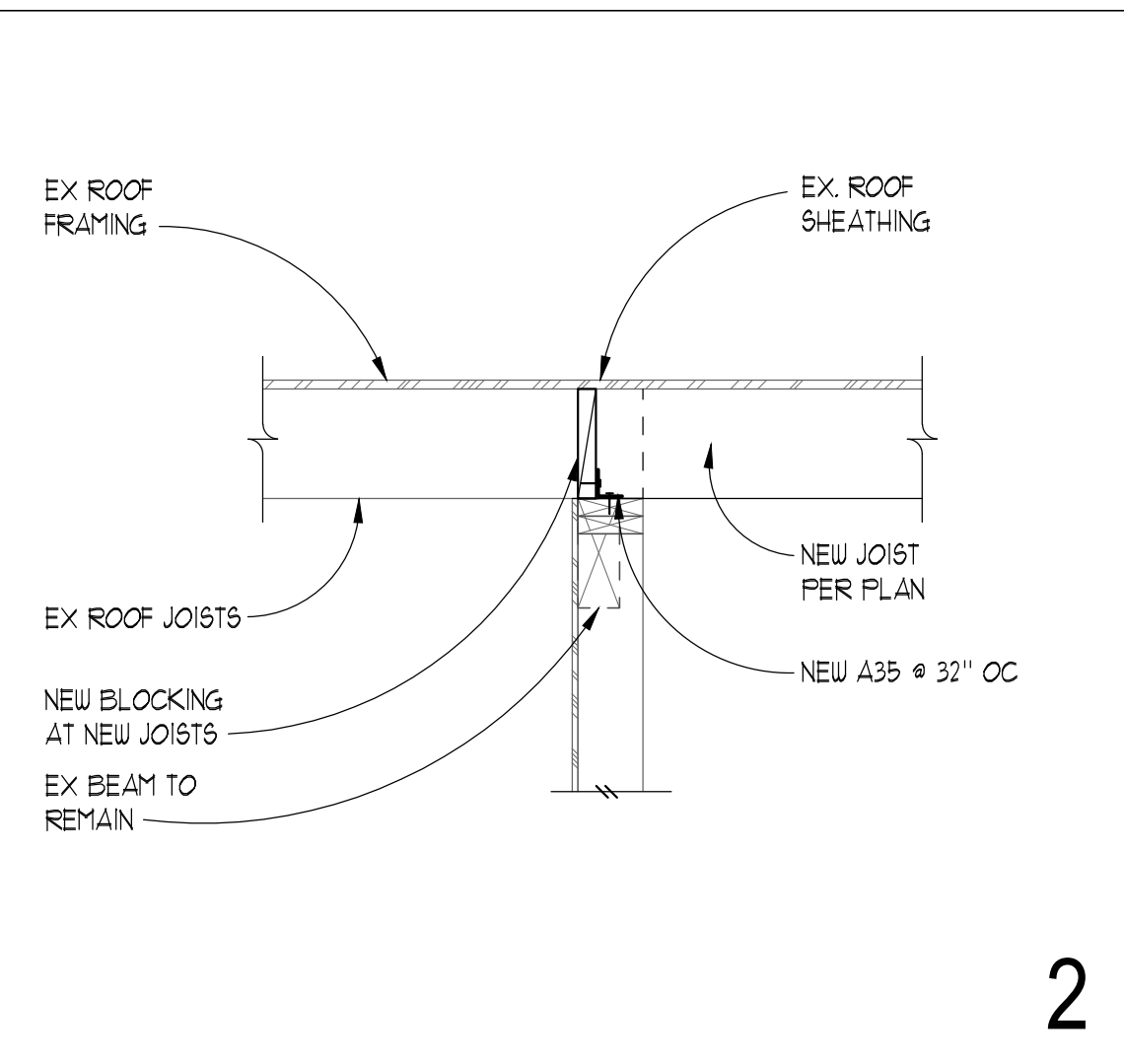
1 ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

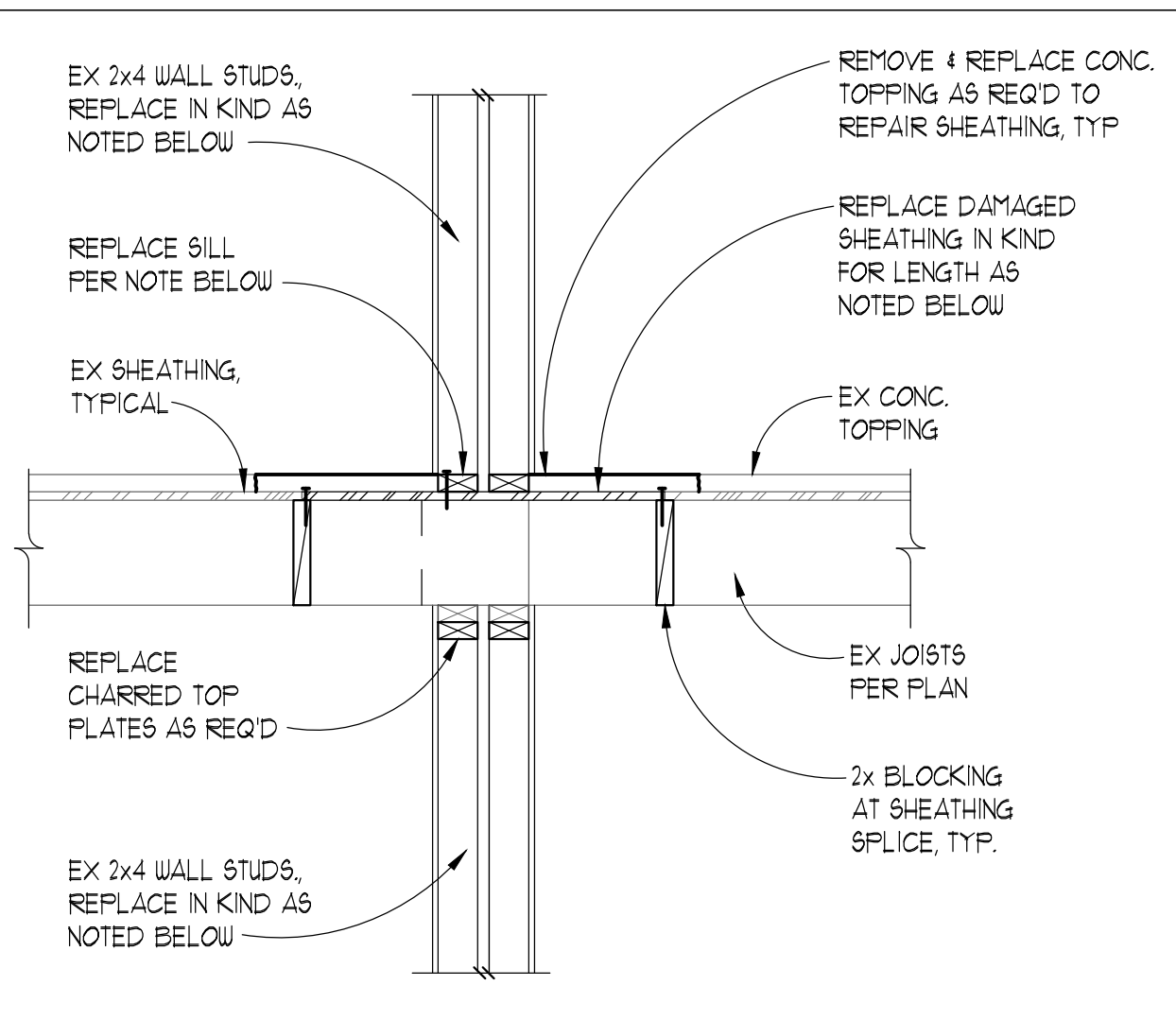




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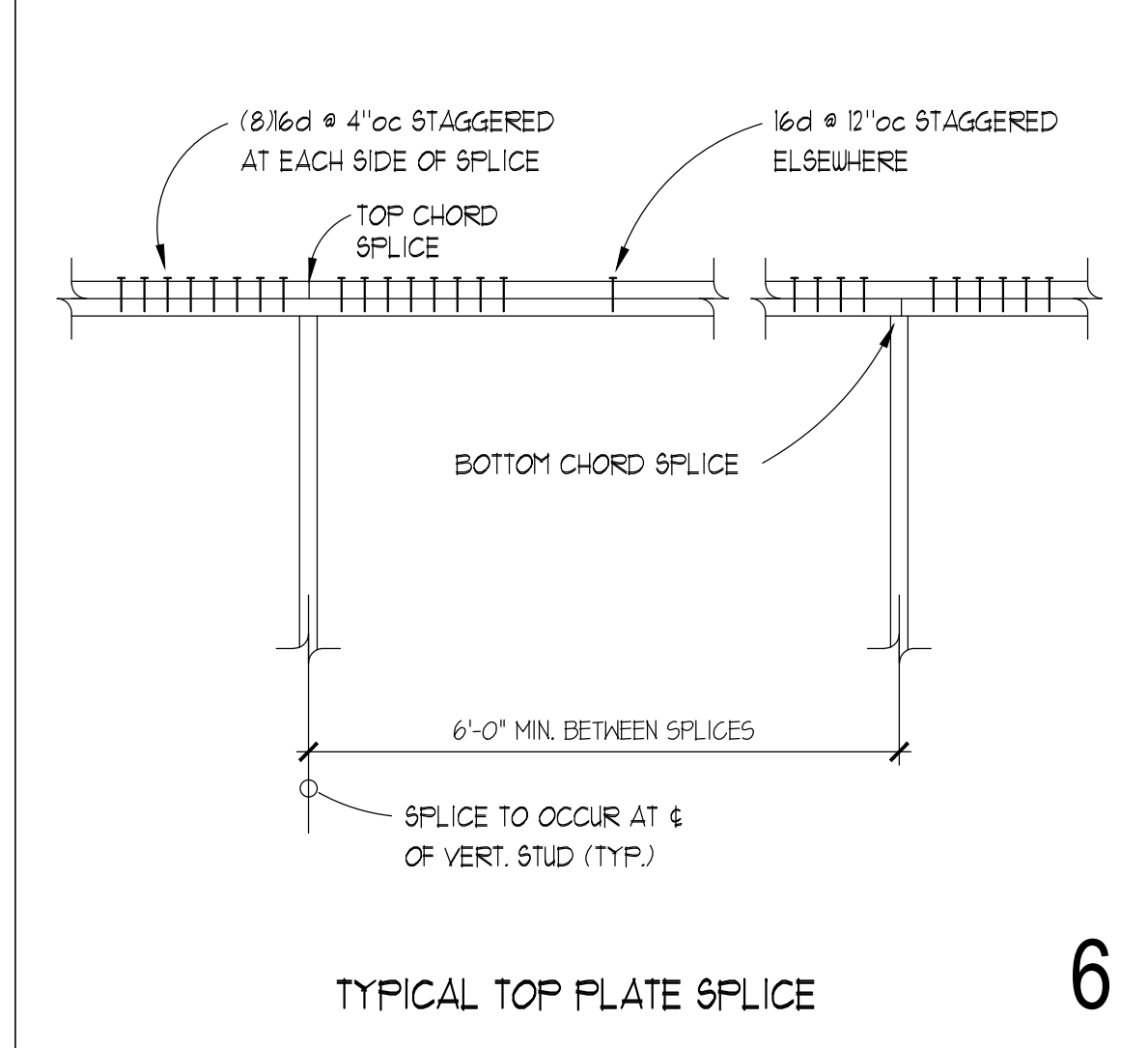
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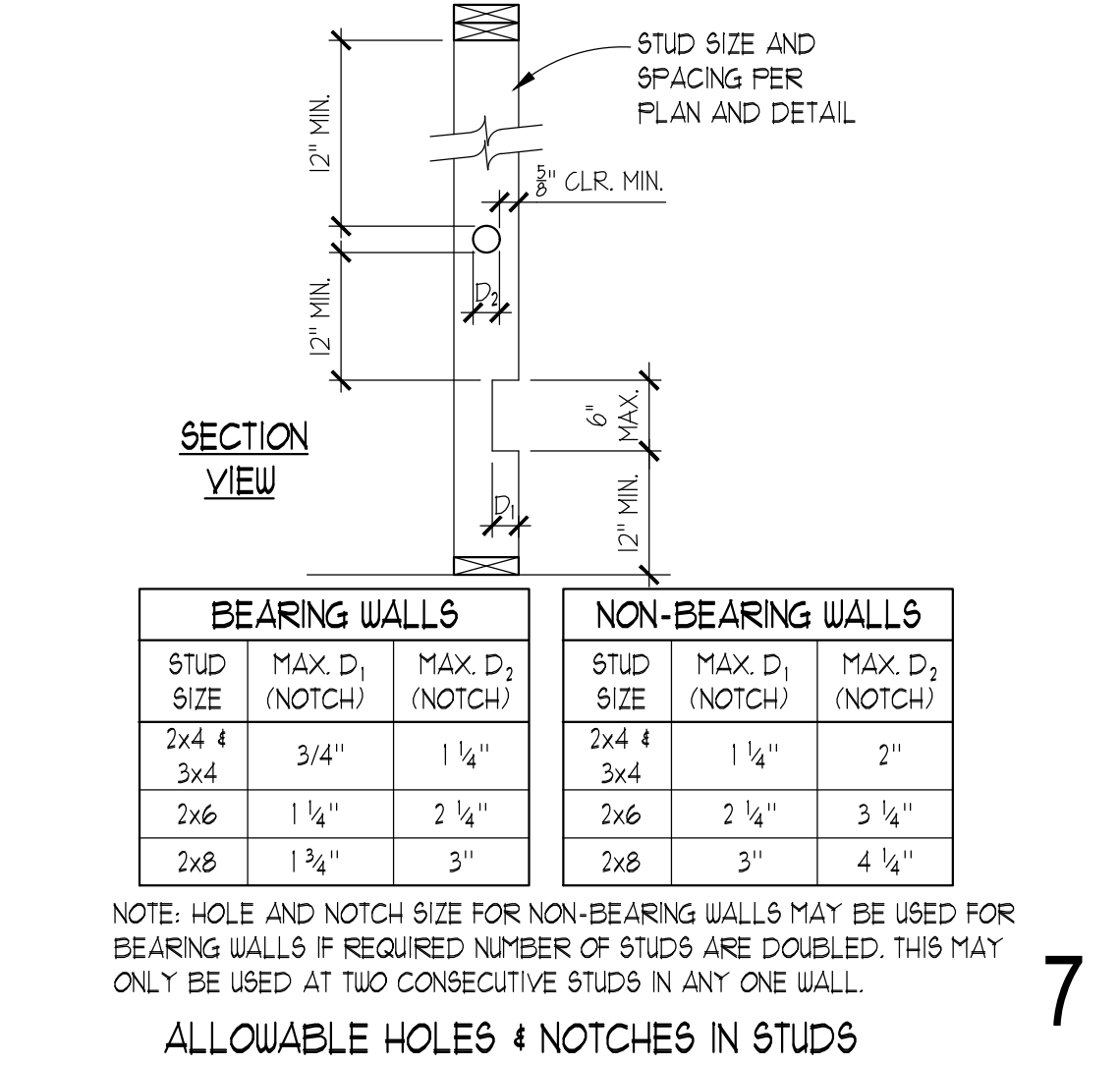
NOTE:
REPLACE ANY FRAMING MEMBER w/
10% or MORE OF CHAR DAMAGE TO
ANY FACE. ASSUME 8'-0" LINEAL FT
OF DAMAGE AREA PER WALL PER
FLOOR FOR BIDDING PURPOSES

5



TYPICAL TOP PLATE SPLICE

6



ALLOWABLE HOLES & NOTCHES IN STUDS

7

8

9

10



11

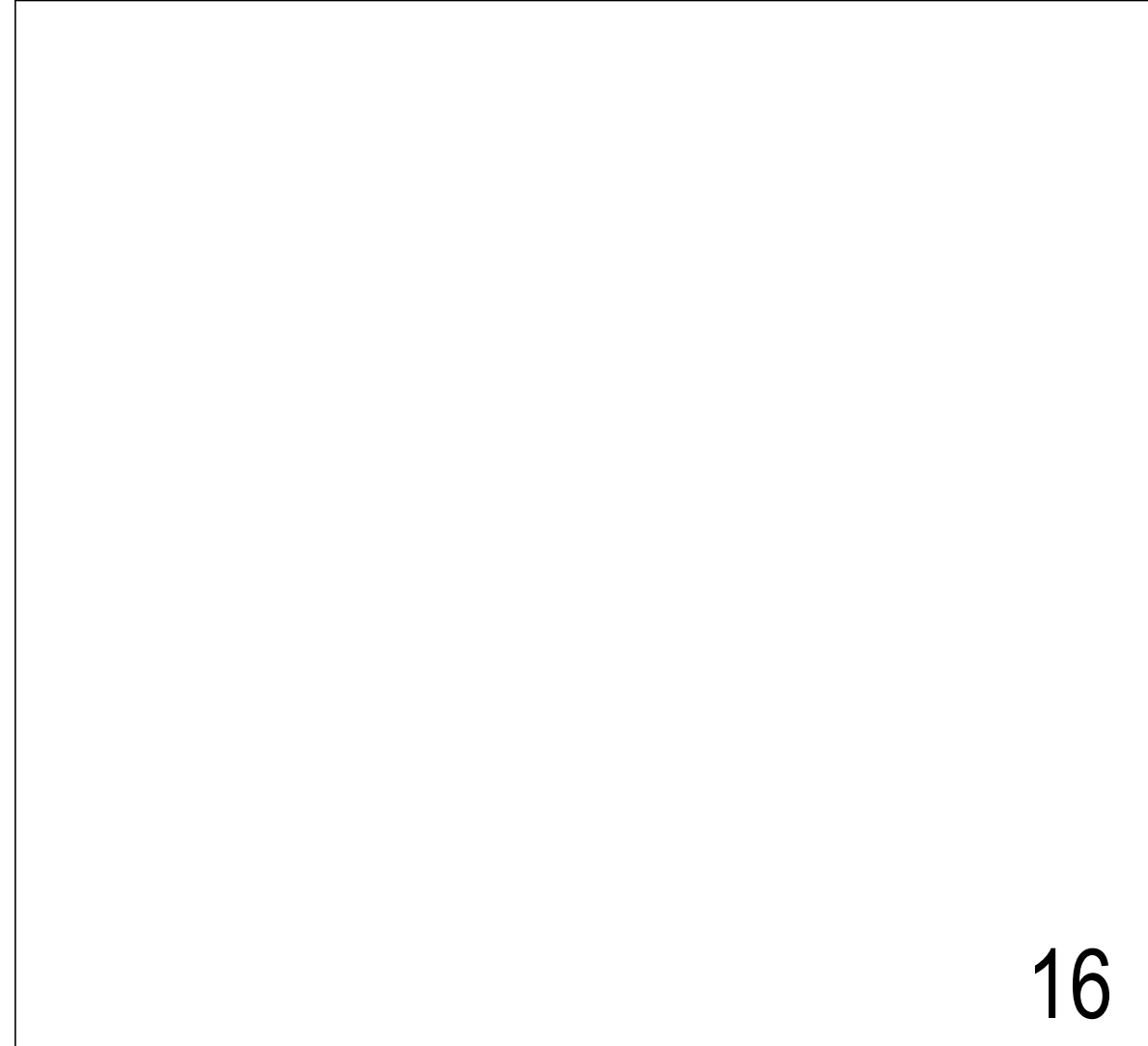


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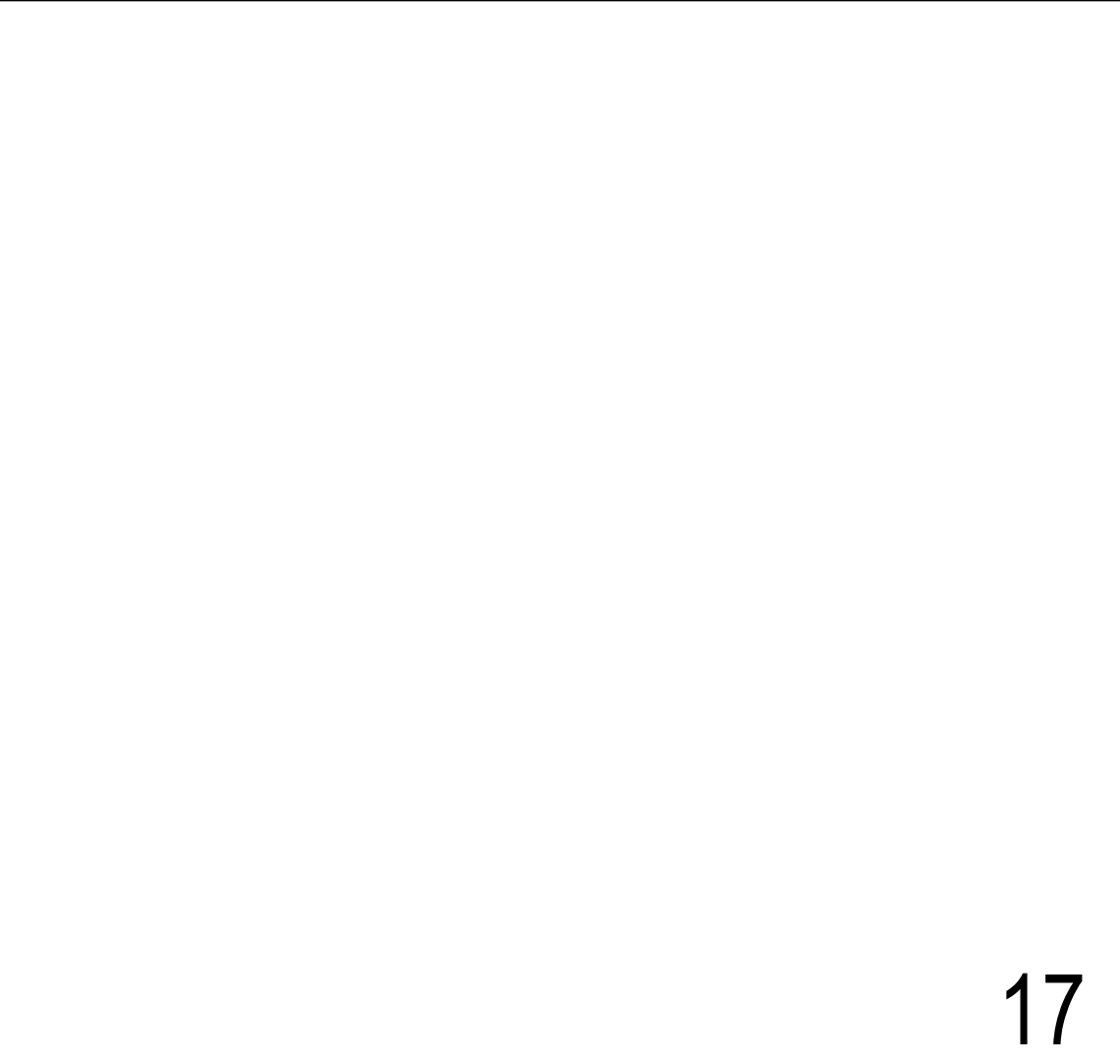
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TITLE
BUILDING K
TYPICAL WOOD DETAILS

PERMIT #
DRAWN KMH
CHECKED VM
ISSUE DATE 10/29/24
PROJECT NO. 24022
SHEET NO.:

K-S401

INSTRUCTIONS TO BIDDERS

1.0 BIDDER RESPONSIBILITY CRITERIA

- A. It is the intent of Owner to award a contract to a responsible bidder submitting the lowest responsive bid. Before award, the bidder must meet the following bidder responsibility criteria to be considered a responsible bidder. The bidder may be required by the Owner to submit documentation demonstrating compliance with the criteria. The bidder must:
1. Have a current certificate of registration as a contractor in compliance with chapter 18.27 RCW, which must have been in effect at the time of bid submittal;
 2. Have a current Washington Unified Business Identifier (UBI) number;
 3. If applicable, have industrial insurance coverage for the bidder's employees working in Washington as required in Title 51 RCW; an employment security department number as required in Title 50 RCW; and a state excise tax registration number as required in Title 82 RCW;
 4. Not be disqualified from bidding on any public works contract under RCW 39.06.010 or 39.12.065(3);
 5. Have received training on the requirements related to public works and prevailing wage under chapter 39.04.350 RCW and chapter 39.12 RCW or be listed as exempt by the department of labor and industries on its website; and
 6. Within the three-year period immediately preceding the date of the bid solicitation, not have been determined by a final and binding citation and notice of assessment issued by the department of labor and industries or through a civil judgment entered by a court of limited or general jurisdiction to have willfully violated, as defined in RCW 49.48.082, any provision of chapter 49.46, 49.48, or 49.52 RCW;
 7. Before award of a public works contract, a bidder shall submit to the contracting agency a signed statement in accordance with RCW 9A.72.085 verifying under penalty of perjury that the bidder is in compliance with the responsible bidder criteria requirement of subsection A, 6 of this section.

1.1 SUBCONTRACTOR RESPONSIBILITY

- A. The Contractor shall include the language of this section in each of its first tier subcontracts, and shall require each of its subcontractors to include the same language of this section in each of their subcontracts, adjusting only as necessary the terms used for the contracting parties. Upon request of the Owner, the Contractor shall promptly provide documentation to the Owner demonstrating that the subcontractor meets the subcontractor responsibility criteria below. The requirements of this section apply to all subcontractors regardless of tier.
- B. At the time of subcontract execution, the Contractor shall verify that each of its first tier subcontractors meets the following bidder responsibility criteria:
1. Have a current certificate of registration in compliance with chapter 18.27 RCW, which must have been in effect at the time of subcontract bid submittal;
 2. Have a current Washington Unified Business Identifier (UBI) number;
 3. If applicable, have:
 - a. Have Industrial Insurance (workers' compensation) coverage for the subcontractor's employees working in Washington, as required in Title 51 RCW;
 - b. A Washington Employment Security Department number, as required in Title 50 RCW;

INSTRUCTIONS TO BIDDERS

- c. A Washington Department of Revenue state excise tax registration number, as required in Title 82 RCW;
 - d. An electrical contractor license, if required by Chapter 19.28 RCW;
 - e. An elevator contractor license, if required by Chapter 70.87 RCW.
4. Not be disqualified from bidding on any public works contract under RCW 39.06.010 or 39.12.065 (3);
 5. Have received training on the requirements related to public works and prevailing wage under chapter 39.04.350 RCW and chapter 39.12 RCW or be listed as exempt by the department of labor and industries on its website; and
 6. Within the three-year period immediately preceding the date of the bid solicitation, not have been determined by a final and binding citation and notice of assessment issued by the department of labor and industries or through a civil judgment entered by a court of limited or general jurisdiction to have willfully violated, as defined in RCW 49.48.082, any provision of chapter 49.46, 49.48, or 49.52 RCW.

1.2 SUPPLEMENTAL BIDDER RESPONSIBILITY CRITERIA

- A. RCW 39.04.350(2) specifically authorizes municipalities to adopt relevant supplement criteria for determining bidder responsibility applicable to a particular project which the bidder must meet.
- B. For the work in this project a responsible/qualified Bidder must meet the following standards:
 1. Have a current certificate of registration as a contractor, in compliance with chapter 18.27 RCW, for the last three years under the same business name;
 2. Have a good record of past performance that includes, but is not limited to, high quality work, ability to complete projects on time, contractor's integrity, compliance with public policy, financial, contractual and tax obligations, as well as Federal and State rules and regulations in performing construction contracts.
 3. Have a current Experience Modification Rate (EMR) of 1.0 or less, or an average EMR rate of 1.0 or less over the last three years. The requirement may, at the Owner's sole discretion, be waived on review of a written explanation that includes details of accidents, L&I records, a Loss Ratio Report for the last five years, costs, dates of events, and changes that have been made by the contractor to reduce accidents. A current company Safety Plan shall also be reviewed.
 4. Bidder shall provide evidence of previous successful completion of Fire Restoration projects, of similar scope and complexity. Poor performance, lack of response, or failure to complete projects successfully within the contract time may be grounds for the rejection of bidder.
- C. Subcontractors shall have had three years minimum experience licensed in Washington State under the same business name in the specific specialty contracting business.

1.3 PREPARATION OF BIDS – CONSTRUCTION

- A. Bids must be submitted on the Bid Form furnished by the Owner.
- B. All fields and questions on required forms must be fully answered and complete. Failure to do so may result in the bid being declared non-responsive.

INSTRUCTIONS TO BIDDERS

- C. Bidders shall acknowledge receipt of all addenda to this solicitation by inserting the addenda numbers in the space provided on the Bid Form. Failure to do so may result in the bid being declared non-responsive.
 - 1. Bidder is responsible for checking KCHA's website for addenda prior to submitting bid.
- D. In order for a bid to be considered responsive, bidders must submit the following signed documents with their bid package:
 - 1. Bid Form
 - 2. Bidder's Information Form
- E. The Bidder agrees to hold the base bid prices for sixty (60) days from date of bid opening.

1.4 AMENDMENTS TO INVITATION TO BID

- A. If this solicitation is amended, then all terms and conditions which are not modified remain unchanged.
- B. Bidders shall acknowledge receipt of all addenda to this solicitation by inserting the addenda numbers in the space provided on the Bid Form. Failure to do so may result in the bid being declared non-responsive.
 - 1. Bidder is responsible for checking KCHA's website for addenda prior to submitting bid.
 - 2. Addenda will not be issued later than three (3) calendar days before the deadline for receipt of Bids except Addendum withdrawing the request for Bids or extending the deadline for receipt of Bids.

1.5 PRE-BID MEETING

- A. All potential bidders are strongly encouraged to attend. Oral statements may not be relied upon and will not be binding or legally effective.

1.6 EXAMINATION OF PLANS, SPECIFICATIONS, AND SITE

- A. Before submitting a bid, the Bidder shall carefully examine each component of the Contract Documents prepared for the Work and any other available supporting data so as to be thoroughly familiar with all the requirements.
- B. The Bidder shall obtain copies of all agencies and associations guidelines and standards cited in the Contract Documents and necessary to perform the Work, including full size reproductions of material provided by Owner, at their own expense.
- C. The Bidder shall make a thorough and reasonable examination of the project site, facility and conditions under which the Work is to be performed, including but not limited to: Building access; resident occupancy; fire lanes; landscaping; obstacles and character of materials which may be encountered; traffic conditions; public and private utilities; the availability and cost of labor; and available facilities for transportation, handling, and storage of materials and equipment.

INSTRUCTIONS TO BIDDERS

1.7 EXPLANATION TO PROSPECTIVE BIDDERS

- A. Any prospective bidder desiring an explanation or interpretation of the solicitation, drawings, specifications, etc., must submit a request in writing to the Owner seven (7) calendar days before the bid due date. Oral explanations or instructions given before the award of a contract will not be binding. Questions shall be submitted to:

Michelle Jackson
King County Housing Authority
600 Andover Park W
Seattle, WA 98188
Email: MichelleJ@kcha.org

1.8 PREVAILING WAGES

- A. Contractor shall pay no less than the Washington State Department of Labor and Industries (L&I) prevailing rate of wages to all workers, laborers, or mechanics employed in the performance of any part of the Work in accordance with RCW 39.12 and the rules and regulations of L&I. The schedule of prevailing wage rates for the locality or localities of the Work is determined by the Industrial Statistician of L&I. It is the Contractor's responsibility to verify the applicable prevailing wage rate.
- B.
1. L&I prevailing wage rates may be found at <https://lni.wa.gov/licensing-permits/public-works-projects/prevailing-wage-rates/>
 2. The Owner has determined that the work meets the definition of residential construction.
 3. The prevailing wage rates publication date is determined by the bid due date.
 4. The work is to be performed in King County.
 5. A copy of the prevailing wage rates is available at KCHA.
 6. A copy of the prevailing wage rates may be mailed on request.

1.9 TAXES

- A. All taxes imposed by law shall be included in the bid amount. The Contractor shall pay the WSST to the Department of Revenue and shall furnish proof of payment to the Owner if requested.
- B. The retail sales tax does not apply to the gross contract price as indicated in WAC 458-20-17001.
- C. Prime and subcontractors are required to pay retail sales tax upon all purchases of materials, including prefabricated and precast items, equipment, leases or rentals of tools, consumables, and other tangible personal property which is installed, applied, attached, or otherwise incorporated in their work.

1.10 ASSURANCE OF COMPLETION

- A. Payment and performance bonds for 100% of the Contract Sum, including all Change Orders and taxes imposed by law, shall be furnished for the Work, and shall be in a form acceptable to the Owner.

INSTRUCTIONS TO BIDDERS

1.11 BID ERROR

- A. In the event Bidder discovers an error in its bid, the Bidder may, under certain conditions and if before the date and time that bids are due, modify, their bid, as detailed below:
1. Prior to Date and Time Bids are Due:
 - a. A Bidder may withdraw its bid at any time prior to the date and time bids are due upon written request.
 - b. After withdrawing an original submitted bid, a Bidder may modify and resubmit its bid at any time prior to the date and time bids are due.
 2. After the Date and Time Bids are Due:
 - a. A bidder who submits an erroneous low bid may withdraw the bid. The bid withdrawal is permissible if there was an obvious error in the low bid, and the mistake is readily apparent from the bid itself.
 - b. Notification: Provide to the Owner, within 24 hours of bid opening, written notification of the bidder's intent to withdraw the bid due to error.
 - c. Documentation: Provide to the Owner within 48 hours of bid opening, documentation sufficient in content to justify bid withdrawal to the satisfaction of the Owner. Include description and evidence of the error.
 - d. Approval: the Owner will approve or reject the request for withdrawal in writing.
 - e. Any low bidder who withdraws its bid is prohibited from bidding on the same project if it is subsequently re-solicited.

1.12 ADDITIVE OR DEDUCTIVE BID ITEMS

- A. The low bid, for purposes of award, shall be the lowest responsive bid from a qualified responsible bidder offering the low aggregate amount for the base bid, plus additive or deductive bid alternates selected by the Owner.

1.13 BID EVALUATION

- A. Responsive Bids: A bid will be considered responsive if it meets the conditions of the solicitation, in addition to but not limited to the following requirements:
1. Bid is received not later than the time and date specified.
 2. Bid is submitted in the proper format on the form(s) provided.
 3. Bid includes the complete scope of work as defined in bid package.
 4. Bid does not include any exclusions or qualifications.
 5. Bid includes Unit and Lump Sum Costs as listed in Proposal Form.
 6. Forms are complete.
- B. After bid opening, bids will be checked for correctness of bid item prices, extensions and the total bid price. Discrepancies shall be resolved by accepting the bid item prices and the corrected extensions and total bid price.
- C. Responsible Bidders: the Owner will award contracts only to responsible bidders who demonstrate the ability to successfully perform under the terms and conditions as set forth in the Contract Documents and have successfully completed projects similar in scope and complexity.

INSTRUCTIONS TO BIDDERS

1. Bidders must demonstrate relevant experience on similar types of projects and submit detailed information as required on the Bidder Information Form.
- D. The Owner reserves the right to contact references and investigate past performance and qualifications of the Bidder, subcontractor, and project team members, including contacting third parties and/or the references provided by the Bidder.
1. The Owner may contact references for other projects including those the Bidder did not identify and/or provided references.
 2. References may be asked to rate the performance of and describe their experience with project team members and subcontractors. Bidder Information may be solicited and evaluated on the following subjects: type and features of work; overall quality of project performance and quality of work; experience and technical knowledge and competence of the Bidder and Project Team Members; ability, capacity and skill to perform the Work; ability to manage submittals, requests for information, prevailing wage filings, and other paperwork; compliance with laws, ordinances, and contract provisions; and other information as deemed necessary.
 3. Poor reference(s) may be justification to determine a Bidder is not responsible.
- E. At the Owner's request, provide any additional explanation or information, which would assist in evaluating the qualifications of the Bidder, subcontractors, project team members, and bid price.
- F. The Owner will verify information submitted and if the lowest bidder is determined to be “not responsible,” the Owner will issue, in writing, the specific reasons for this determination. The bidder may appeal this decision. The appeal must be in writing and shall be delivered to the Owner within two business days. The appeal may include additional information that was not included in the original bid documents. KCHA will make a final determination after the receipt of the appeal. The final determination may not be appealed.

1.14 CONTRACT AWARD

- A. **Bonding and Insurance:** Contract award will be contingent on ability to secure payment/performance bonding, and Contractor’s ability to meet the Owner insurance requirements as detailed in the Bid Documents.
- B. Bonding, insurance and an approved Statement of Intent to Pay Prevailing Wages shall be submitted to the Owner within 14 days of contract award. A Notice to Proceed shall be issued immediately after receipt.
- C. **Right to Reject Bids/Waiver:** The Owner reserves the right to reject any or all bids or to waive any informalities or irregularities in the bidding.
- D. **Retainage Funds:** The Owner will not pay interest to the Contractor for accounts where retainage funds are maintained by the Owner. As part of the procurement by which the Contractor was selected for this work, the Contractor agrees to waive any other options and has made allowances for this waiver.

GENERAL CONDITIONS

PART 1 - GENERAL PROVISIONS

1.1 DEFINITIONS

- A. "Authority Having Jurisdiction (AHJ)": A federal, state, local, or other regional department, or an individual such as a fire official, labor department, health department, building official, or other individual having statutory authority.
- B. "Contract Documents" means the Instructions to Bidders, Specifications, Plans, General Conditions, Prevailing Wage Rates, Bid Form, Contract Form, other Special Forms, Drawings and Specifications, and all Addenda and modifications thereof.
- C. "Contract Sum" is the total amount payable by Owner to Contractor for performance of the Work in accordance with the Contract Documents.
- D. "Contract Time" is the number of consecutive Days allotted in the Contract Documents for achieving completion of the Work.
- E. "Contracting Officer" means the person delegated the authority by King County Housing Authority to enter into, and/or terminate this Contract. The term includes any successor Contracting Officer and any duly authorized representative of the Contracting Officer.
- F. "Contractor" means the person or other entity entering into the Contract with King County Housing Authority to perform all of the services or work required under the Contract.
- G. "Day" means calendar day, unless otherwise specified.
- H. "Final Acceptance" means the acceptance by Owner that the Contractor has completed the requirements of the Contract Documents.
- I. "Force Majeure" means those acts entitling Contractor to request an equitable adjustment in the Contract Time, including, but not limited to, unusually severe weather conditions which could not have been reasonably anticipated.
- J. "Furnish": Supply and deliver to Project site, ready for unloading, unpacking, assembly, installation, and similar operations.
- K. "Install": Operations at Project site including unloading, temporarily storing, unpacking, assembling, erecting, placing, anchoring, applying, working to dimension, finishing, curing, protecting, cleaning, and similar operations.
- L. "Liquidated Damages" means the amount prescribed in the Contract Documents to be deducted from any payments due or to become due Contractor, for each day's delay in completion of the Work beyond the time allowed in the Contract Documents as stated in the Notice to Proceed, plus any extensions of such time.
- M. "Manager" means the person who is an authorized agent of the King County Housing Authority to administer the Contract.
- N. "Notice to Proceed" means a notice from Owner to Contractor that defines the date on which the Contract Time begins to run.
- O. "Owner" means the King County Housing Authority or its authorized representative with the authority to enter into, administer, and/or terminate the Work in accordance with the Contract Documents and make related determinations and findings.
- P. "Property Manager" means the property management company, its officers and employees.
- Q. "Provide": Furnish and install, complete and ready for the intended use.

GENERAL CONDITIONS

R. "Subcontract" means any contract, purchase order, or other purchase agreement, including modifications and change orders to the foregoing, entered into by a Subcontractor to furnish supplies, materials, equipment, and services for the performance of the prime Contract or a subcontract.

S. "Subcontractor" means any supplier, vendor, or firm that furnishes supplies, materials, equipment, or services to or for the Contractor or another Subcontractor.

"Work" means the construction and services required by the Contract Documents, and includes, but is not limited to, labor, materials, supplies, equipment, services, permits, and the manufacture and fabrication of components, performed, furnished, or provided in accordance with the Contract Documents.

1.2 EXECUTION AND INTENT

A. The intent of the Specifications and Drawings is to describe a complete Project to be constructed in accordance with the Contract Documents. Contractor shall furnish all labor, materials, equipment, tools, transportation, permits, and supplies, and perform the Work required in accordance with the Contract Documents.

B. All work is to be executed in accordance with the Building Codes, as adopted by the Authority Having Jurisdiction, and other applicable codes and generally accepted industry standards. All products and materials are to be new and handled and applied in accordance with the manufacturer's recommendations.

C. Contractor makes the following representations to Owner:

1. The Contract Sum is reasonable compensation for the Work and the Contract Time is adequate for the performance of the Work, as represented by the Contract Documents;
2. Contractor has carefully reviewed the Contract Documents, had an opportunity to visit and examine the Project site, has become familiar with the local conditions in which the Work is to be performed, and has satisfied itself as to the nature, location, character, quality and quantity of the Work, the labor, materials, equipment, goods, supplies, work, permits, services and other items to be furnished and all other requirements of the Contract Documents, as well as the surface and subsurface conditions and other matters that may be encountered at the Project site or affect performance of the Work or the cost or difficulty thereof.

D. The Contract Documents are complementary. What is required by one part of the Contract Documents shall be binding as if required by all. Anything mentioned in the Specifications and not shown on the Drawings, or shown on the Drawings and not mentioned in the Specifications, shall be of like effect as if shown or mentioned in both.

PART 2 - INSURANCE AND BONDS

2.1 INSURANCE REQUIREMENTS FOR BUILDING TRADES CONTRACTORS

A. Contractor shall procure and maintain for the duration of the contract insurance against claims for injuries to persons or damages to property that may arise from or in connection with the performance of the work hereunder by the Contractor, his agents, representatives, employees or Subcontractors.

2.2 MINIMUM SCOPE OF INSURANCE

A. Contractors shall maintain coverages no less than:

1. Insurance Services Office Commercial General Liability coverage including Products/Completed Operations.
2. Insurance Services Office covering Automobile Liability, code 1 (any auto).
3. Workers' Compensation insurance as required by State law and Employer's Liability Insurance.

GENERAL CONDITIONS

2.3 MINIMUM LIMITS OF INSURANCE

A. Contractor shall maintain limits no less than:

1. General Liability: \$1,000,000 per occurrence for bodily injury, personal injury and property damage. If Commercial General Liability Insurance or other form with a general aggregate limit is used, either the general aggregate limit shall apply separately to this project/location or the general aggregate limit of \$2,000,000.
2. Automobile Liability: \$1,000,000 per accident for bodily injury and property damage.
3. Employer's Liability: \$1,000,000 per accident for bodily injury/sickness or disease.

2.4 DEDUCTIBLES AND SELF INSURED RETENTION

- ### A.
- Any deductibles or self-insured retentions must be declared to and approved by the Owner. At the option of the Owner, either: the insurer shall reduce or eliminate such deductibles or self-insured retentions as respects the Owner, its officers, officials, employees and volunteers; or the Contractor shall provide a financial guarantee satisfactory to the Owner guaranteeing payment of losses and related investigations, claim administration and defense expenses. **NOTE: If this contract deals with hazardous materials or activities (i.e. lead based paint, asbestos, armed security guards) additional provisions covering those exposures must be included in order to protect the Owner's interests.**

2.5 OTHER INSURANCE PROVISIONS

A. The policies are to contain, or be endorsed to contain, the following provisions:

1. The Owner, the Property Manager, its officers, officials, employees, partners, agents and volunteers are to be covered as additional insureds under a "completed operations" type of additional insured endorsement with respect to general liability arising out of work or operations performed by or on behalf of the Contractor including materials, parts or equipment furnished in connection with such work or operations. The endorsement(s) effectuating the foregoing additional insured coverage shall be ISO form CG 20 10 11 85, or CG 20 10 10 01 issued concurrently with CG 20 37 10 01, or their equivalent as long as it provides additional insured coverage, without limitation, for completed operations; (ii) automobile liability arising out of vehicles owned, leased, hired, or borrowed by or on behalf of the Contractor; (iii) any insurance written on a claims made basis, shall have a retroactive date that coincides with, or precede, the commencement of any work under this contract. Evidence of such coverage shall be maintained for a minimum of six (6) years beyond the expiration of the project.
2. King County will not accept Certificates of Insurance Alone. Improperly Completed Endorsements will be returned to your insured for correction by an authorized representative of the insurance company.
3. For any claims related to this project, the Contractor's insurance coverage shall be primary insurance as respects the Owner, its officers, officials, agents, partners, employees, and volunteers. Any insurance or self-insurance maintained or expired by the Owner, its officers, officials, agents, partners, employees, volunteers, or shall be excess of the Contractor's insurance and shall not contribute with it. King County Housing Authority's Insurance is Non-Contributory in Claims Settlement Funding.
4. The "General description of agreement(s) and/or activity(s) insured" shall include reference to the activity and/or to either specific King County Housing Authority's; project of site name, contract number, lease number, permit number or construction approval number.
5. Each insurance policy required by this clause shall be endorsed to state that coverage shall not be canceled or materially changed, except after thirty (30) days' [ten (10) days for non-payment of premium] prior written notice by certified mail, return receipt requested, has been given to the Owner.
6. Maintenance of the proper insurance for the duration of the contract is a material element of the contract. Material changes in the required coverage or cancellation of the coverage shall constitute a material breach of the contract.

2.6 ACCEPTABILITY OF INSURERS

- ### A.
- Insurance is to be placed with insurers with a current A.M. Best's rating of no less than A-:VII. The name of the Insurance Company underwriting the coverage and its address shall be noted on the endorsement form. Contractors must provide written verification of their insurer's rating.

GENERAL CONDITIONS

2.7 VERIFICATION OF COVERAGE

Contractor shall furnish the Owner with original certificates and amendatory endorsements effecting coverage required by this clause. All certificates and endorsements are to be received and approved by the Owner before work commences in sufficient time to permit contractor to remedy any deficiencies. The Owner reserves the right to require complete, certified copies of all required insurance policies or pertinent parts thereof, including endorsements affecting the coverage required by these specifications at any time.

2.8 SUBCONTRACTORS

- A. Subcontractors shall include the Contractor as additional insured under their policies. All coverage's for subcontractors shall be subject to all of the requirements stated herein. Contractor shall be responsible for the adequacy of required coverages for subcontractors, and compile related certificates of insurance and endorsements evidencing subcontractors' compliance.

2.9 PAYMENT AND PERFORMANCE BONDS

- A. Payment and performance bonds for 100% of the Contract Award Amount shall be furnished for the Work, using the Payment Bond and Performance Bond form AIA – form A312. Change order increases of cumulative 15% increments require revisions to the bond to match the new Contract Sum.

PART 3 - PERFORMANCE

3.1 CONTRACTOR CONTROL AND SUPERVISION

- A. Contractor shall be solely responsible for, and have control over construction means, methods, techniques, sequences, and procedures and for coordinating all portions of the Work, and shall be responsible to Owner for acts and omissions of Contractor, Subcontractors, and their employees and agents.
- B. Contractor shall enforce strict discipline and good order among Contractor's employees and other persons performing the Work. Contractor shall not permit employment of persons not skilled in tasks assigned to them. Owner may, by Notice, request Contractor to remove from the Work or Project site any employee Owner reasonably deems incompetent, careless, or otherwise objectionable.
- C. The Contractor shall perform on the site, and with its own organization, work equivalent to at least 12% of the total amount of work to be performed under the contract.
- D. Work Hours: The Contractor's allowable hours of operation shall be limited to those hours between 8:00 A.M. and 6:00 P.M. Monday to Friday excluding public holidays.

3.2 PERMITS, FEES, AND NOTICES

- A. Unless otherwise provided in the Contract Documents, Contractor shall pay for and obtain all permits, licenses, and coordinate inspections necessary for proper execution and completion of the Work. Prior to final payment, the approved, signed permits shall be delivered to Owner.

3.3 PREVAILING WAGES

- A. Statutes of the State of Washington RCW 39.12 as amended shall apply to this contract. Requirements, in brief, are stated below:
 - 1. There shall be paid each laborer or mechanic of the Contractor or sub-Contractor engaged in work on the project under this contract in the trade or occupation listed in the schedule of Wage Rates, as determined by the Department of Labor and Industries, not less than the hourly wage rate listed therein, regardless of any contractual relationship which may be alleged to exist between the Contractor and any sub-contractor and such laborers and mechanics.

GENERAL CONDITIONS

2. The "prevailing rate or wage" contained in the wage determination include health and welfare fund contributions and other fringe benefits collectively bargained for by the various management and labor organizations. Prevailing wages shall be paid based on the most recent semi-annual list as required by the Department of Labor and Industries (L&I).
3. In case any dispute arises as to what are the prevailing rates for wages of work of a similar nature, and such disputes cannot be resolved by the parties involved, including labor and management representatives, the matter shall be referred for arbitration to the Director of the Department of Labor and Industries of the State of Washington, and the Director's decision shall be final and conclusive and binding on all parties involved in the dispute.

B. Before commencing the Work, Contractor shall file a statement of "Intent to Pay Prevailing Wages."

C. After completion of the Work, Contractor shall file an "Affidavit of Wages Paid."

3.4 EQUAL EMPLOYMENT OPPORTUNITY

A. During performance of the Work:

1. Contractor shall not discriminate against any employee or applicant for employment because of race, creed, color, national origin, sex, age, marital status, the presence of any physical, sensory, or mental disability, sexual orientation, Vietnam-era veteran status, disabled veteran status or political affiliation, nor commit any unfair practices as defined in RCW 49.60.
2. The Contractor shall take affirmative action to ensure that applicants are employed, and that employees are treated during employment without regard to their race, color, religion, sex, national origin, of any physical, sensory, or mental disability, sexual orientation, Vietnam-era veteran status, disabled veteran status, or political affiliation.
3. The Contractor shall give all notices and comply with all applicable laws, ordinances, rules, regulations and orders in regard to Equal Employment Opportunity including but not limited to Executive Order 11246, as amended, Section 503 of the Rehabilitation Act of 1973, as amended, and the rules, regulations, and orders of the Secretary of Labor. The Contractor shall include the terms of this Clause in every subcontract so that such term shall be binding on each Subcontractor.
4. Non-Discrimination R.C.W. 49.60: These special requirements establish minimum requirements for affirmative action and are intended to define and implement the basic discrimination provisions of these specifications. Failure to comply with these requirements may constitute grounds for application of contract default.

3.5 SAFETY PRECAUTIONS

A. In performing this contract, the Contractor shall provide for protecting the lives and health of employees and other persons; preventing damage to property, materials, supplies, and equipment; and avoid work interruptions. For these purposes, the Contractor shall:

1. Follow Washington Industrial Safety and Health Act (WISHA) regional directives and provide a site-specific safety program that will require an accident prevention and hazard analysis plan for the contractor and each subcontractor on the work site. The Contractor shall submit a site-specific safety plan to the Owner's representative prior to the initial scheduled construction meeting.
2. Provide adequate safety devices and measures including, but not limited to, the appropriate safety literature, notice, training, permits, placement and use of barricades, signs, signal lights, ladders, scaffolding, staging, runways, hoist, construction elevators, shoring, temporary lighting, grounded outlets, wiring, hazardous materials, vehicles, construction processes, and equipment required by Chapter 19.27 RCW, State Building Code (Uniform Building, Electrical, Mechanical, Fire, and Plumbing Codes); Chapter 212-12 WAC, Fire Marshal Standards, Chapter 49.17 RCW, WISHA; Chapter 296-155 WAC, Safety Standards for Construction Work; Chapter 296-65 WAC; WISHA Asbestos Standard; WAC 296-62-071, Respirator Standard; WAC 296-62, General Occupation Health Standards, WAC 296-24, General Safety and Health Standards, WAC 296-24, General Safety and Health Standards, Chapter 49.70 RCW, and Right to Know Act.
3. Comply with the State Environmental Policy Act (SEPA), Clean Air Act, Shoreline Management Act, and other applicable federal, state, and local statutes and regulations dealing with the prevention of environmental pollution and the preservation of public natural resources.
4. Post all permits, notices, and/or approvals in a conspicuous location at the construction site.

GENERAL CONDITIONS

5. Provide any additional measures that the Owner determines to be reasonable and necessary for ensuring a safe environment in areas open to the public. Nothing in this part shall be construed as imposing a duty upon the Owner to prescribe safety conditions relating to employees, public, or agents of the Contractors.
- B. Contractor to maintain safety records: Contractor shall maintain an accurate record of exposure data on all incidents relating to the Work resulting in death, traumatic injury, occupational disease, or damage to property, materials, supplies, or equipment. Contractor shall immediately report any such incident to Owner. Owner shall, at all times, have a right of access to all records of exposure.
- C. Contractor to provide HazMat training: Contractor shall provide all persons working on the Project site with information and training on hazardous chemicals in their work at the time of their initial assignment, and whenever a new hazard is introduced into their work area.
 1. Information. At a minimum, Contractor shall inform persons working on the Project site of:
 - a. WAC: The requirements of chapter 296-62 WAC, General Occupational Health Standards;
 - b. Presence of hazardous chemicals: Any operations in their work area where hazardous chemicals are present; and
 - c. Hazard communications program: The location and availability of written hazard communication programs, including the required list(s) of hazardous chemicals and material safety data sheets required by chapter 296-62 WAC.
 2. Training. At a minimum, Contractor shall provide training for persons working on the Project site which includes:
 - a. Detecting hazardous chemicals: Methods and observations that may be used to detect the presence or release of a hazardous chemical in the work area (such as monitoring conducted by the employer, continuous monitoring devices, visual appearance or odor of hazardous chemicals when being released, etc.);
 - b. Hazards of chemicals: The physical and health hazards of the chemicals in the work area;
 - c. Protection from hazards: The measures such persons can take to protect themselves from these hazards, including specific procedures Contractor, or its Subcontractors, or others have implemented to protect those on the Project site from exposure to hazardous chemicals, such as appropriate work practices, emergency procedures, and personal protective equipment to be used; and
 - d. Hazard communications program: The details of the hazard communications program developed by Contractor, or its Subcontractors, including an explanation of the labeling system and the material safety data sheet, and how employees can obtain and use the appropriate hazard information.
- D. Hazardous, toxic or harmful substances: Contractor's responsibility for hazardous, toxic, or harmful substances shall include the following duties:
 1. Illegal use of dangerous substances: Contractor shall not keep, use, dispose, transport, generate, or sell on or about the Project site, any substances now or hereafter designated as, or which are subject to regulation as, hazardous, toxic, dangerous, or harmful by any federal, state or local law, regulation, statute or ordinance (hereinafter collectively referred to as "hazardous substances"), in violation of any such law, regulation, statute, or ordinance, but in no case shall any such hazardous substance be stored on the Project site.
 2. Contractor notifications of spills, failures, inspections, and fines: Contractor shall promptly notify Owner of all spills or releases of any hazardous substances which are otherwise required to be reported to any regulatory agency and pay the cost of cleanup. Contractor shall promptly notify Owner of all failures to comply with any federal, state, or local law, regulation, or ordinance; all inspections of the Project site by any regulatory entity concerning the same; all regulatory orders or fines; and all responses or interim cleanup actions taken by or proposed to be taken by any government entity or private party on the Project site.
- E. Public safety and traffic: All Work shall be performed with due regard for the safety of the public. Contractor shall perform the Work so as to cause a minimum of interruption of vehicular traffic or inconvenience to pedestrians. All arrangements to care for such traffic shall be Contractor's responsibilities. All expenses involved in the maintenance of traffic by way of detours shall be borne by Contractor.

GENERAL CONDITIONS

- F. Contractor to act in an emergency: In an emergency affecting the safety of life or the Work or of adjoining property, Contractor is permitted to act, at its discretion, to prevent such threatened loss or injury, and Contractor shall so act if so authorized or instructed.
- G. No duty of safety by Owner: Nothing provided in this section shall be construed as imposing any duty upon Owner with regard to, or as constituting any express or implied assumption of control or responsibility over, Project site safety, or over any other safety conditions relating to employees or agents of Contractor or any of its Subcontractors, or the public.

3.6 INDEPENDENT CONTRACTOR

- A. The Contractor and Owner agree the Contractor is an independent contractor with respect to the services provided pursuant to this Contract. Nothing in this Contract shall be considered to create a relationship of employer and employee between the parties hereto. Neither the Contractor nor any employee of the Contractor shall be entitled to any benefits accorded Owner employees by virtue of the services provided under this Contract. The Owner shall not be responsible for withholding or otherwise deducting federal income tax or social security or contributing to the State Industrial Insurance Program, or otherwise assuming the duties of an employer with respect to the Contractor, or any employees of the Contractor.

3.7 OPERATIONS, MATERIAL HANDLING, AND STORAGE AREAS

- A. Contractor shall confine all operations, including storage of materials, to Owner-approved areas.
- B. Contractor shall be responsible for the proper care and protection of its materials and equipment delivered to the Project site.
- C. Contractor shall protect and be responsible for any damage or loss to the Work, or to the materials or equipment until the date of Final Acceptance, and shall repair or replace without cost to Owner any damage or loss that may occur.

3.8 PRIOR NOTICE OF EXCAVATION

- A. Prior to any excavation Contractor shall engage a locate service for all underground facilities or utilities. Contractor shall pay all fees for locator services and pay for all damages caused by excavation.

3.9 UNFORESEEN PHYSICAL CONDITIONS

- A. Notice requirement for concealed or unknown conditions: If Contractor encounters conditions at the site which are subsurface or otherwise concealed physical conditions which differ materially from those indicated in the Contract Documents, or unknown physical conditions of an unusual nature which differ materially from those ordinarily found to exist and generally recognized as inherent in construction activities of the character provided for in the Contract Documents, then Contractor shall give written notice to Owner promptly and in no event later than seven Days after the first observance of the conditions. Conditions shall not be disturbed prior to such notice.
- B. Adjustment in Contract Time and Contract Sum: If such conditions differ materially and cause a change in Contractor's cost of, or time required for, performance of any part of the Work, the Contractor may be entitled to an equitable adjustment in the Contract Time or Contract Sum, or both, provided it makes a request therefore as provided in Part 5.

3.10 PROTECTION OF EXISTING STRUCTURES, EQUIPMENT, VEGETATION, UTILITIES, AND IMPROVEMENTS

- A. Contractor shall protect from damage all existing conditions, including soils, structures, equipment, improvements, utilities, and vegetation at or near the Project site; and on adjacent property of a third party, the locations of which are made known to or should be known by Contractor. Contractor shall repair any damage, including that to the property of a third party, resulting from failure to comply with the requirements of the Contract Documents, any defects of equipment, material, workmanship or design furnished by the Contractor, or failure by Contractor or subcontractor at any tier to exercise reasonable care in performing the Work. If

GENERAL CONDITIONS

Contractor fails or refuses to repair the damage promptly, Owner may have the necessary work performed and charge the cost to Contractor.

- B. New work which connects to existing work shall correspond in all respects with that to which it connects and/or be similar to existing work unless otherwise required by the Specifications.

3.11 MATERIAL AND EQUIPMENT

- A. All equipment, material, and articles incorporated into the Work shall be new and of the most suitable grade for the purpose intended, unless otherwise specifically provided in the Contract Documents. References in the Specifications to equipment, material, articles, or patented processes by trade name, make, or catalog number, shall be regarded as establishing a standard quality and shall not be construed as limiting competition. Contractor may, at its option, use any equipment, material, article, or process that, in the judgment of Owner, is equal to that named in the Specifications, unless otherwise specifically provided in the Contract Documents.
- B. Substitutions shall be considered where qualities and attributes including, but not limited to, cost, performance, weight, size, durability, visual effect, and specific features and requirements indicated are deemed equal or better by the Owner at the Owner's sole discretion. All requests for substitutions shall be made in writing to Owner and shall not be deemed to be approved unless approved in writing by Owner.

3.12 CORRECTION OF NONCONFORMING WORK

- A. Contractor shall promptly correct Work found by Owner not to conform to the requirements of the Contract Documents, whether observed before or after Final Acceptance.
- B. If Contractor fails to correct nonconforming Work, Owner may replace, correct, or remove the nonconforming Work and charge the cost thereof to the Contractor.

3.13 CLEAN UP

- A. Contractor shall at all times keep the Project site, including hauling routes, infrastructures, utilities, and storage areas, free from accumulations of waste materials. Before completing the Work, Contractor shall remove from the premises its rubbish, tools, scaffolding, equipment, and materials. Upon completing the Work, Contractor shall leave the Project site in a clean, neat, and orderly condition satisfactory to Owner. If Contractor fails to clean up as provided herein, and after reasonable notice from Owner, Owner may do so and the cost thereof shall be charged to Contractor.

3.14 SUBCONTRACTORS AND SUPPLIERS

- A. Contractor shall utilize Subcontractors and suppliers which are experienced and qualified.
- B. By appropriate written agreement, Contractor shall require each Subcontractor to be bound to Contractor by terms of those Contract Documents, and to assume toward Contractor all the obligations and responsibilities which Contractor assumes toward Owner in accordance with the Contract Documents. Each Subcontract shall preserve and protect the rights of Owner in accordance with the Contract Documents with respect to the Work to be performed by the Subcontractor so that subcontracting thereof will not prejudice such rights. Contractor shall require each Subcontractor to enter into similar agreements with Sub-subcontractors. However, nothing in this paragraph shall be construed to alter the contractual relations between Contractor and its Subcontractors with respect to insurance or bonds.
- C. Contractor shall schedule, supervise, and coordinate the operations of all Subcontractors. No Subcontracting of any of the Work shall relieve Contractor from its responsibility for the performance of the Work in accordance with the Contract Documents or any other obligations of the Contract Documents.
- D. It is the Contractor's responsibility to pay its Subcontractors and material suppliers on a timely basis. The Owner reserves the right to withhold a portion of the Contractor's payment if the Contractor fails to make timely payments to the Subcontractors and material suppliers.

GENERAL CONDITIONS

- E. The Contract Documents shall not be construed to create a contractual relationship of any kind between the Owner and any Subcontractor; or any persons other than Owner and Contractor.
- F. The Contractor shall not enter into any subcontract with any subcontractor who has been suspended or debarred from participating in contracting programs by any agency of the United States Government or by any state, territory, or municipality.

3.15 INDEMNIFICATION

- A. The Contractor hereby agrees to indemnify, defend, and hold harmless the Authority, its successors and assigns, director, officers, officials, employees, agents, partners and volunteers (all foregoing singly and collectively (Indemnities")) from a and against any and all claims, losses, harm costs, liabilities, damages and expenses, including, but not limited to, reasonable attorney's fees arising or resulting from the performance of the services, or the acts or omissions of the Contractor its successors, and assigns, employees, subcontractors or anyone acting on the contractor's behalf in connection with this Contract or its performance of this Contract.
- B. Provided, however, that the Contractor will not be required to indemnify, defend, or save harmless the indemnitee as provided in the preceding paragraphs of this section if the claim, suit, or action for injuries, death, or damages is caused by the sole negligence of the indemnitee. Where such claims, suites, or actions result from the concurrent negligence of (a) the indemnitee or the indemnitee's agents or employees and (b) the Contractor or the Contractor's agent or employee, the indemnity provisions provided in the proceeding paragraphs of this section shall be valid and enforceable only to the extent of the Contractor's negligence or the negligence of its agents and employees..
- C. The foregoing indemnity is specifically and expressly intended to constitute a waiver of the Contractor's immunity under Washington's Industrial Insurance act, RCW Title 51. The parties acknowledge that these provisions were specifically negotiated and agreed upon by them. If any portion of this indemnity clause is invalid or unenforceable, it shall be deemed excised and the remaining portions of the clause shall be given full force and effect.
- D. The Contractor hereby agrees to require all its Subcontractors or anyone acting under its direction or control or on its behalf in connection with or incidental to the performance of this Contract to execute an indemnity clause identical to the preceding clause, specifically naming the Owner as indemnity, and failure to do so shall constitute a material breach of this Contract by the Contractor.

3.16 PROHIBITION AGAINST LIENS

- A. The Contractor is prohibited from placing a lien on the Owner's property. This prohibition shall apply to all subcontractors of any tier and all materials suppliers, in accordance with RCW 35.82.190.

3.17 DAMAGES FOR FAILURE TO ACHIEVE TIMELY COMPLETION

- A. Liquidated Damages
 - 1. Timely performance and completion of the Work is essential to Owner and time limits stated in the Contract Documents are of the essence. The liquidated damage amounts set forth will be assessed not as a penalty, but as liquidated damages for breach of the Contract Documents. This amount is fixed and agreed upon by and between the Contractor and Owner because of the impracticability and extreme difficulty of fixing and ascertaining the actual damages the Owner would in such event sustain. This amount shall be construed as the actual amount of damages sustained by the Owner, and may be retained by the Owner and deducted from any payments to the Contractor.
 - 2. If different completion dates are specified in the contract for separate parts or stages of the work, the amount of liquidated damages shall be assessed on those parts or stages which are delayed.

3.18 WAIVER AND SEVERABILITY

- A. The failure or delay of either party to insist on performance of any provision of the Contract, or to exercise any right or remedy available under the Contract, shall not be construed as a waiver of that provision, right, or remedy in any later instance. Waiver or breach of any provision of the Contract shall not be construed to be a

GENERAL CONDITIONS

waiver of any other or subsequent breach and shall not be construed to be a modification of the terms of the Contract, unless the Contract is modified pursuant to the Clause entitled "Contract Modifications" herein.

- B. If any provision of the Contract is or becomes void or unenforceable by operation of law, the remaining provisions shall be valid and enforceable.

PART 4 - PAYMENTS AND COMPLETION

4.1 CONTRACT SUM

- A. The Contract Sum shall include all taxes imposed by law and properly chargeable to the Project, including sales tax. The Contractor shall pay the WSST to the Department of Revenue and shall furnish proof of payment to the Owner if requested.
- B. The retail sales tax does not apply to the gross contract price.
- C. Prime and subcontractors are required to pay retail sales tax upon all purchases of materials, including prefabricated and precast items, equipment, leases or rentals of tools, consumables, and other tangible personal property which is installed, applied, attached, or otherwise incorporated in their work.

4.2 APPLICATION FOR PAYMENT

- A. At monthly intervals, unless determined otherwise by Owner, Contractor shall submit to Owner an Application for Payment for Work completed in accordance with the Contract Documents. Each application shall be supported by such substantiating data as Owner may require.
- B. Each invoice shall include the following statement: "I hereby certify that the items listed are proper charges for materials, merchandise or services provided to the King County Housing Authority, and that all goods and/or services have been provided; that prevailing wages have been paid in accordance with the approved statements of intent filed with the Department of Labor and Industries; and that sub-contractors and/or suppliers have been paid, less earned retainage, as their interest appears in the last payment received."
- C. Coordinate preparation of the Schedule of Values with preparation of Contractor's Construction Schedule. Each Application for Payment shall be consistent with previous applications and payments.
- D. Owner shall retain 5% of the amount of each progress payment until 45 Days after Final Acceptance and receipt of all documents required by law or the Contract Documents, including releases by Washington State Employment Security Department and Washington State Department of Revenue, Department of Labor & Industries, and consent of surety to release of the retainage.
- E. Waivers of Lien: With each Application for Payment, submit conditional waivers lien from every entity who is lawfully entitled to file a lien arising out of the Contract and related to the Work covered by the payment.
 - 1. Submit partial waivers on each item for amount requested, before deduction for retainage, on each item.
 - 2. When an application shows completion of an item, submit final or full waivers.
 - 3. Owner reserves the right to designate which entities involved in the Work must submit waivers.
 - a. Submit final Application for Payment with or preceded by final waivers from every entity involved with performance of the Work covered by the application who is lawfully entitled to a lien.
- F. Final Payment Application: Submit final Application for Payment with releases and close out supporting documentation.
- G. Approved payments shall be mailed to the Contractor within 30 days.

GENERAL CONDITIONS

4.3 FINAL COMPLETION, ACCEPTANCE, AND PAYMENT

- A. The Owner shall make a final inspection of the Work on receipt of (1) written notice from the Contractor that the Work is ready for final inspection and (2) a final Application for Payment. When the Owner finds the Work acceptable and fully performed under the Contract Documents, and the Contractor has delivered to the Owner all warranties, permits, and operations manuals, the Owner will issue a Notice of Final Completion.
- B. Acceptance of final payment by Contractor, or any Subcontractor, shall constitute a waiver and release to Owner of all claims by Contractor, or any such Subcontractor, for an increase in the Contract Sum or the Contract Time, and for every act or omission of Owner relating to or arising out of the Work, except for those Claims made in accordance with the procedures, including the time limits, set forth in PART 7 - .

PART 5 - CHANGES

5.1 CHANGE IN THE WORK

- A. Owner may, at any time and without notice to Contractor's surety, order additions, deletions, revisions, or other changes in the Work. These changes in the Work shall be incorporated into the Contract Documents through the execution of Change Orders. If any change in the Work ordered by Owner causes an increase or decrease in the Contract Sum or the Contract Time, an equitable adjustment shall be made as provided in 5.2 and 5.3.
- B. Pending agreement on the terms of the Change Order, Owner may direct Contractor to proceed immediately with the Change Order Work. Contractor shall not proceed with any change in the Work until it has obtained Owner's approval.
- C. The Contractor agrees that any change in the Contract Amount or Contract Time provided in a Change Order is full and complete compensation to the Contractor for the change(s) to the work, deleted work, modified work, direct or indirect impact on the Contractor's schedule, and for any equitable adjustment or time extension to which the Contractor may be entitled to in this Change Order, pursuant to the Contract between the Owner and Contractor.

5.2 CHANGE IN THE CONTRACT SUM

- A. Change Order Pricing - Fixed Price: When the fixed price or time and materials method is used to determine the value of any Work covered by a Change Order, or of a request for an equitable adjustment in the Contract Sum, the following procedures shall apply:
 - 1. Contractor's Change Order proposal, or request for adjustment in the Contract Sum, shall be accompanied by a complete itemization of the costs, including labor, material, subcontractor costs, and overhead and profit. The costs shall be itemized in the manner set forth below, and shall be submitted on breakdown sheets with documentation in a form approved by Owner.
 - 2. Any request for adjustment of Contract Sum shall include only the following items:
 - a. Craft labor costs for Contractors and Subcontractors.
 - 1) Basic wages and benefits: Hourly rates and benefits according to applicable prevailing wages.
 - 2) Direct supervision shall not to exceed 15% of the cost of direct labor. No supervision markup shall be allowed for a working supervisor's hours.
 - 3) Worker's Insurance. Direct contributions to the State for industrial insurance, medical aid, and supplemental pension by the class and rates established by L&I.
 - 4) Federal Insurance. Direct contributions required by the Federal Insurance Compensation Act; Federal Unemployment Tax Act; and the State Unemployment Compensation Act.
 - 5) Safety and small tools: 4% of the sum of the amounts calculated in (1), (2), and (3) above.
 - b. Material Costs: Material costs and applicable sales tax shall be developed from actual known costs, supplier quotations or standard industry pricing guides and shall consider all available discounts. Freight costs, express charges, or special delivery charges shall be itemized.

GENERAL CONDITIONS

- c. Equipment Costs: Itemization of the type of equipment and the estimated or actual length of time the equipment appropriate for the Work is or will be used on the change in the Work. Costs will be allowed for equipment and applicable sales tax only if used solely for the changed Work, or for additional rental costs actually incurred by the Contractor. The Date Quest Rental Rate (Blue Book) shall be used as a basis for establishing rental rates of equipment not listed in the above sources. The maximum rate for standby equipment shall not exceed 50% of the applicable rate.
- d. Allowance for Overhead: This allowance shall compensate Contractor for all noncraft labor, temporary construction facilities, field engineering, schedule updating, as-built drawings, home office cost, B&O taxes, office engineering, estimating costs, additional overhead because of extended time and any other cost incidental to the change in the Work. This allowance shall be strictly limited in all cases an amount not to exceed the following:
 - 1) For Contractor, for any Work actually performed by Contractor's own forces, 16% of the cost.
 - 2) For each Subcontractor (including lower tier subcontractors), for any Work actually performed by its own forces, 16% of the cost.
 - 3) For Contractor, for any Work performed by its Subcontractor(s), 6% of the amount due each Subcontractor.
 - 4) For each Subcontractor, for any Work performed by its Subcontractor(s) of any lower tier, 5% of the amount due the sub-Subcontractor.
- e. Allowance for Profit:
 - 1) For Contractor or Subcontractor of any tier for work performed by their forces, 5% of the cost developed in accordance with subsections a, b & c above.
 - 2) For Contractor or Subcontractor of any tier for work performed by a subcontractor of a lower tier, 5% of the Subcontractor cost.
- f. Insurance or Bond Premium: The costs of any change or additional premium of Contractor's liability insurance and public works bond arising directly from the changed Work. The costs of any change in insurance or bond premium shall be added after overhead and profit are calculated.

B. Change Order Pricing - Unit Prices

- 1. Work on a unit-price basis as stated in the Specifications and at the price submitted in the Bid Form or as subsequently modified.
 - a. Unit prices shall include reimbursement for all direct and indirect costs of the Work, including overhead and profit, and bond and insurance costs; and
 - b. Quantities must be supported by field measurement verified by Owner.

5.3 CHANGE IN THE CONTRACT TIME

- A. The Contract Time shall only be changed by a Change Order. Contractor shall immediately notify Owner, and shall include any request for a change in the Contract Time in its Change Order proposal.
- B. If the time of Contractor's performance is changed due to an act of Force Majeure, Contractor shall request for an equitable adjustment in the Contract Time in writing within 24-hours of the occurrence.

PART 6 - CLAIMS AND DISPUTE RESOLUTION

6.1 CLAIMS PROCEDURE

- A. If the parties fail to reach agreement regarding any dispute arising from the Contract Documents, Contractor's only remedy shall be to file a Claim with Owner within 30 Days from Owner's final offer.

GENERAL CONDITIONS

- B. The Claim shall be deemed to cover all changes in cost and time (including direct, indirect, impact, and consequential) to which Contractor may be entitled. It shall be fully substantiated and documented.
- C. After Contractor has submitted a fully-documented Claim, Owner shall respond, in writing, to Contractor with a decision within 30 Days from the date the Claim is received.
- D. Contractor shall proceed with performance of the Work pending final resolution of any Claim. Owner's written decision as set forth above shall be final and conclusive as to all matters set forth in the Claim.
- E. Any Claim of the Contractor against the Owner for damages, additional compensation, or additional time, shall be conclusively deemed to have been waived by the Contractor unless timely made in accordance with the requirements of this section.

6.2 ARBITRATION

- A. If Contractor disagrees with Owner's decision rendered in accordance with paragraph 6.1C, Contractor shall provide Owner with a written demand for arbitration. No demand for arbitration of any such Claim shall be made later than 30 Days after the date of Owner's decision on such Claim; failure to demand arbitration within said 30 Day period shall result in Owner's decision being final and binding upon Contractor and its Subcontractors.
 - 1. Notice of the demand for arbitration shall be filed with the American Arbitration Association (AAA), with a copy provided to Owner. The parties shall negotiate or mediate under the Voluntary Construction Mediation Rules of the AAA, or mutually acceptable service.
- B. All Claims arising out of the Work shall be resolved by arbitration. The judgment upon the arbitration award may be entered, or review of the award may occur, in the superior court having jurisdiction thereof. No independent legal action relating to or arising from the Work shall be maintained.

6.3 CLAIMS AUDITS

- A. All Claims filed against Owner shall be subject to audit at any time following the filing of the Claim. Failure of Contractor, or Subcontractors of any tier, to maintain and retain sufficient records to allow Owner to verify all or a portion of the Claim or to permit Owner access to the books and records of Contractor, or Subcontractors of any tier, shall constitute a waiver of the Claim and shall bar any recovery.
 - 1. In support of Owner audit of any Claim, Contractor shall promptly make available to Owner all records relating to the Work.

PART 7 - TERMINATION OF THE WORK

7.1 TERMINATION BY OWNER FOR CAUSE

- A. Owner may, upon a written Notice to Contractor and to its surety, terminate (without prejudice to any right or remedy of Owner) the Work, or any part of it, for cause upon the occurrence of any one or more of the following events:
 - 1. Contractor fails to prosecute the Work or any portion thereof with sufficient diligence to ensure Completion of the Work within the Contract Time;
 - 2. Contractor is adjudged bankrupt, makes a general assignment for the benefit of its creditors, or a receiver is appointed on account of its insolvency;
 - 3. Contractor fails in a material way to replace or correct Work not in conformance with the Contract Documents;
 - 4. Contractor repeatedly fails to supply skilled workers or proper materials or equipment;
 - 5. Contractor repeatedly fails to make prompt payment due to Subcontractors, suppliers, or for labor;
 - 6. Contractor materially disregards or fails to comply with laws, ordinances, rules, regulations, or orders of any public authority having jurisdiction; or
 - 7. Contractor is otherwise in material breach of any provision of the Contract Documents.

GENERAL CONDITIONS

- B. Upon termination, Owner may at its option:
 - 1. Take possession of the Project site and take possession of or use all materials, equipment, tools, and construction equipment and machinery thereon owned by Contractor to maintain the orderly progress of, and to finish, the Work;
 - 2. Finish the Work by whatever other reasonable method it deems expedient.
- C. Owner's rights and duties upon termination are subject to the prior rights and duties of the surety, if any, obligated under any bond provided in accordance with the Contract Documents.
- D. When Owner terminates the Work in accordance with this section, Contractor shall take the actions set forth in paragraph 7.2B, and shall not be entitled to receive further payment until the Work is accepted.
- E. If the unpaid balance of the Contract Sum exceeds the cost of finishing the Work, including compensation for A/E services and expenses made necessary thereby and any other extra costs or damages incurred by Owner in completing the Work, or as a result of Contractor's actions, such excess shall be paid to Contractor. If such costs exceed the unpaid balance, Contractor shall pay the difference to Owner. Contractor shall also be liable for liquidated damages until such reasonable time as may be required for Completion. These obligations for payment shall survive termination.
- F. Termination of the Work in accordance with this section shall not relieve Contractor or its surety of any responsibilities for Work performed.
- G. If Owner terminates Contractor for cause, and it is later determined that none of the circumstances set forth in 7.1A exist, then such termination shall be deemed a termination for convenience pursuant to 7.2.

7.2 TERMINATION BY OWNER FOR CONVENIENCE

- A. Owner may, upon Notice, terminate (without prejudice to any right or remedy of Owner) the Work, or any part of it, for the convenience of Owner.
- B. Unless Owner directs otherwise, after receipt of a Notice of termination for either cause or convenience, Contractor shall promptly:
 - 1. Stop performing Work on the date and as specified in the notice of termination;
 - 2. Place no further orders or subcontracts for materials, equipment, services or facilities, except as may be necessary for completion of such portion of the Work as is not terminated;
 - 3. Cancel all orders and subcontracts, upon terms acceptable to Owner, to the extent that they relate to the performance of Work terminated;

PART 8 - MISCELLANEOUS PROVISIONS

8.1 RECORDS KEEPING AND REPORTING

- A. The Contractor and all Subcontractors shall maintain accounts and records in accordance with State Auditor's procedures, including personnel, property, financial and programmatic records which sufficiently and properly reflect all direct and indirect costs of any nature expended and services performed in the performance of this Contract and other such records as may be deemed necessary by the Owner to ensure proper accounting for all funds contributed by the Owner to the performance of this Contract and compliance with this Contract.
- B. The Contractor, and its Subcontractors, shall maintain these records for a period of six (6) years after the date of Final Acceptance.

8.2 AUDITS AND INSPECTIONS

- A. The records and documents with respect to all matters covered by this Contract shall be subject at all times to inspection, review or audit by the Owner or any other government agency so authorized by law during the performance of this Contract. The Owner shall have the right to an annual audit of the Contractor's financial statement and condition.

GENERAL CONDITIONS

8.3 ORGANIZATION CONFLICTS OF INTEREST

- A. The Contractor warrants that to the best of its knowledge and belief and except as otherwise disclosed, it does not have any organizational conflict of interest which is defined as a situation in which the nature of work under this Contract and the Contractor's organizational, financial, contractual or other interests are such that:
 - 1. Award of the Contract may result in an unfair competitive advantage; or
 - 2. The Contractor's objectivity in performing the Contract work may be impaired.
- B. The Contractor agrees that if after award they discover an organizational conflict of interest with respect to this Contract, they shall make an immediate and full disclosure in writing to the Contracting Officer, which shall include a description of the action, which the Contractor has taken or intends to take to eliminate or neutralize the conflict. The Owner may, however, terminate the Contract if it deems the action to be in the best interest of the Owner.
- C. In the event the Contractor was aware of an organizational conflict of interest before the award of this Contract and intentionally did not disclose the conflict to the Contracting Officer, the Owner may terminate the Contract for default.
- D. The provisions of this Clause shall be included in all subcontracts and consulting agreements wherein the work to be performed is similar to the services provided by the Contractor. The Contractor shall include in such subcontracts and consulting agreements any necessary provisions to eliminate or neutralize conflicts of interest.

8.4 INTERESTS OF MEMBERS OF CONGRESS

- A. No member of or delegate to the Congress of the United States of America shall be admitted to any share or part of this Contract or to any benefit to arise therefrom, but this provision shall not be construed to extend to this Contract if made with a corporation for its general benefit.

8.5 INTERESTS OF MEMBERS, OFFICERS, COMMISSIONERS AND EMPLOYEES, OR FORMER MEMBERS, OFFICERS AND EMPLOYEES

- A. No member, officer, or employee of the King County Housing Authority, no member of the governing body of the locality in which the project is situated, no member of the governing body in which the Owner was activated, and no other public official or such locality or localities who exercises any functions or responsibilities with respect to the project, shall, during his or her tenure, or for one year thereafter, have any interest, direct or indirect, in this Contract or the proceeds thereof.

BID FORM

PROJECT NAME AND LOCATION:

**FIRE RESTORATION BUILDING K
CASCADIAN APARTMENTS**

Contract Number: DW2403231

BID FORM

The undersigned, Legal Name of Bidder: _____

on this date: _____, 2025, having familiarized him/herself with the contract documents, site conditions, and has field verified all measurements contained in the project manual as prepared by the Owner, hereby proposes to furnish labor, materials and necessary equipment – all including, but not limited to, demolition, disposal, new installation and the required applicable taxes and fees to complete the work for the following bid amounts:

BASE BID _____ (\$ _____)
(Including sales tax indicated in Instructions to Bidders)

ADDENDA _____
Acknowledge receipt of any addenda by inserting the number(s) above

In submitting this bid, it is understood that the right is reserved by the Owner to reject any and all bids. The undersigned hereby agrees that this proposal shall be a valid and firm offer for a period of Sixty (60) calendar days from the date of Bid Opening.

Bidder agrees that Work will be substantially complete and ready for final payment in accordance with the Contract Documents on or before the date, within the number of calendar days indicated.

The undersigned Bidder hereby certifies that, within the three-year period immediately preceding the bid solicitation date for this Project, the bidder is not a “willful” violator, as defined in RCW 49.48.082, of any provision of chapters 49.46, 49.48, or 49.52 RCW, as determined by a final and binding citation and notice of assessment issued by the Department of Labor and Industries or through a civil judgment entered by a court of limited or general jurisdiction.

I certify (or declare) under penalty of perjury under the laws of the State of Washington that the foregoing is true and correct.

Signature of Bidder

Print Your Name

Submitted on _____ day of _____ 2025

City

State

BIDDER INFORMATION

BIDDER INFORMATION

Name of Bidder (Company): _____

Address: _____

Contact Name: _____

Phone Number: _____ Email Address: _____

Business Type: General Contractor () Other () (Please specify): _____

Bidder is a(n): Individual Partnership Joint Venture Incorporated in the state of _____

List business names & associated UBI # used by Bidder during the past 5 years if different than above:

Bidder has been in business continuously from: _____
Month, Year

Business License #: _____ Federal ID #: _____

Current UBI #: _____ Dept. of L&I Worker's Comp. Acct. #: _____

Bidder has experience in work "Similar in Scope and Complexity" comparable to that required for this Project:

As a prime contractor for _____ years. As a subcontractor for _____ years.

OWNER(S) OF COMPANY (List all owners):	OWNER'S SOCIAL SECURITY NUMBER (only required if sole proprietorship):

No. of regular full-time employees other than owner(s): _____

Indicate clearly the kind of work your company will actually perform in this project:

Approximate % of work your company will actually perform: _____

List the supervisory personnel to be employed by the Bidder and available for, and intended to, work on this project:

<u>Name</u>	<u>Title</u>	<u>How Long With Bidder</u>

BIDDER INFORMATION

SUBCONTRACTORS

Do you intend to use Subcontractor(s) in this project? Yes No (If yes, you must show the name of the subcontractors. Attach additional pages as necessary.)

Subcontractors Name	Subcontractor's UBI#	Phone Number	Trade	Years in Business
1.				
2.				
3.				
4.				
5.				

BIDDER'S EXPERIENCE

Projects successfully supervised and completed by your company for work of similar scope and value as specified in bid documents in the last 5 years. Attach additional pages as necessary.

Name of Project	Completion Date	Duration (Months)	Nature of Work	Amount of Contract
1.				
2.				
3.				
4.				
5.				

Owner's Name (of project listed above)	Project Address	Contact Person	Phone Number
1.			
2.			
3.			
4.			
5.			

Has Bidder ever been found guilty of violating any State or Federal employment laws? No Yes
If yes, give details & attach additional pages as necessary:

Has Bidder ever filed for protection under any provision of the federal bankruptcy laws or state insolvency laws?
 No Yes If yes, give details & attach additional pages as necessary:

CONTRACT FORM

This Contract is entered into by and between the King County Housing Authority, hereinafter referred to as the "Owner" whose principal office is located at 600 Andover Park West, Seattle, WA 98188 and [Name of Contractor], referred to as the "Contractor", whose principal office is located at [Contractor's Address].

IN CONSIDERATION OF the mutual benefits and conditions hereinafter contained, the parties hereto agree as follows:

1.1 Contract Documents

A. The provisions set forth in the Contract Documents are hereby incorporated into and made part of the Contract. Contractor acknowledges receipt and review of all Contract Documents applicable to performance of the work. The Contract shall consist of the following component parts:

1. This Instrument
2. Addenda
3. Specifications
4. Plans
5. Bid Form
6. Pre-Bid Agenda
7. General Conditions
8. Instructions to Bidders
9. Prevailing Wage Rates
10. Performance and Payment Bonds
11. Hazardous Material Report

1.2 Scope of Services to be Performed by the Contractor: The Contractor shall provide all labor, materials, tools, equipment, transportation, supplies, and incidentals required to complete the work in accordance with the Contract Documents for:

Project: Cascadian Apartments Building K Fire Restoration

Contract No.: DW2403231

1.3 Compensation: The total amount of the Contract shall be [\$\$\$] dollars and [¢¢] cents (\$[\$\$\$.\$\$]) subject to additions and deductions provided therein.

1.4 Duration of Contract: The Contractor shall commence work after receipt of Notice to Proceed, follow the schedule specified in the contract documents, and all work must be completed within one hundred eighty (180) consecutive calendar days from the date of the Notice to Proceed unless sooner terminated pursuant to the General Conditions. Upon expiration of the original Contract term, the Contract, at the Owner's sole discretion, may be extended for a period determined by the Owner.

1.5 Liquidated Damages: Timely performance and completion of the Work is essential to Owner and time limits stated in the Contract Documents are of the essence. If Completion of the Work does not occur within the Contract Time, the Contractor agrees that Liquidated Damages in the amount of \$500.00 per day will be assessed for each calendar day that the Contractor exceeds the time for completion.

The individuals signing this Contract warrant and represent for themselves and for their respective organizations that they are duly authorized to sign this Contract and that upon such signing their respective organizations are bound thereby.

DATED this _____ day of _____, 2025

Contractor

Owner

President/Owner

[Name of Signer]
[Title of Signer]
KING COUNTY HOUSING AUTHORITY

CERTIFICATE OF INSURANCE

DATE(MM/DD/YY)

Issue Date

PRODUCER Vendor's Insurance Agent Street Address City, State, Zip Phone Number	<p>THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.</p> <p style="text-align: center;">COMPANIES AFFORDING COVERAGE</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 15%; text-align: center;">COMPANY A</td> <td>ABC Insurance Company</td> </tr> </table>	COMPANY A	ABC Insurance Company
COMPANY A	ABC Insurance Company		

INSURED Vendor Name Street Address City, State, Zip	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 15%; text-align: center;">COMPANY B</td> <td>DEF Insurance Company</td> </tr> <tr> <td style="width: 15%; text-align: center;">COMPANY C</td> <td>GHI Insurance Company</td> </tr> <tr> <td style="width: 15%; text-align: center;">COMPANY D</td> <td></td> </tr> </table>	COMPANY B	DEF Insurance Company	COMPANY C	GHI Insurance Company	COMPANY D	
COMPANY B	DEF Insurance Company						
COMPANY C	GHI Insurance Company						
COMPANY D							

COVERAGES
 THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	XXX123	01/01/00	01/01/01	GENERAL AGGREGATE 2,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				PRODUCTS-COMP/OP AGG 1,000,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				PERSONAL & ADV INJURY 1,000,000
	<input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT				EACH OCCURRENCE 1,000,000
					FIRE DAMAGE (Any one fire) 50,000
					MED EXP (Any one person) 5,000
B	AUTOMOBILE LIABILITY	XXX456	01/01/00	01/01/01	COMBINED SINGLE LIMIT 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)
	<input checked="" type="checkbox"/> HIRED AUTOS				PROPERTY DAMAGE
<input type="checkbox"/> NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY-EA ACCIDENT
	<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY:
					EACH ACCIDENT
					AGGREGATE
	EXCESS LIABILITY				EACH OCCURRENCE
	<input type="checkbox"/> UMBRELLA FORM				AGGREGATE
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM				
C	WORKERS' COMPENSATION AND EMPLOYER'S LIABILITY	XXX789	01/01/00	01/01/01	<input checked="" type="checkbox"/> STATUTORY LIMITS
	<input type="checkbox"/> THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE:				EACH ACCIDENT 1,000,000
	<input type="checkbox"/> INCL				DISEASE-POLICY LIMIT 1,000,000
	<input type="checkbox"/> EXCL				DISEASE-EACH EMPLOYEE 1,000,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS
King County Housing Authority and Allied Residential Services are named as additional insureds with respect to above general liability and auto coverage. Re: Contract DW2403231 at Cascadian Apartments, 15517 NE 12th St, Bellevue, WA 98007.

CERTIFICATE HOLDER King County Housing Authority Allied Residential Services 600 Andover Park West Seattle, WA 98188-3326	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE Signature of Insured's Agent
ACORD 25-S (3/93)	ACORD CORPORATION 1993

PROVIDE

**GENERAL LIABILITY
ENDORSEMENT**

and

**AUTO LIABILITY
ENDORSEMENT**



Vanguard Environmental Testing
 15620 NE Woodinville Duvall Pl, Suite 6, Woodinville, WA 98072
 (425) 471-9690
 Info@Vanguardenvironmentaltesting.com


Analysis of Total Lead (Pb)

By Flame AA

Attn: Marc Olds
 Alpine Cleaning & Restoration
 1620 75th St SW, Everett, WA 98203
 Project: ACR-KCHA-Cascadian Apts-Unit K126
 KCHA-Cascadian Apts
 15517 NE 12th ST, Unit K126, Bellevue, WA 98007

Office Phone: (425) 471-9690
 Date Received: 07/12/2024
 Date Analyzed: 07/12/2024
 Date Reported: 07/12/2024
 Samples Received: 1
 Samples Analyzed: 1

Analyzed By: 
 Cassandra Rogers

Approved By: 
 Approved Signatory (If Necessary)

Reported By: 
 Alexander Harris

Turn Around Time: _____

Sample Analyzation Report

Seq #	Client ID	Sample Description	Sample Weight (g)	Sample Size (cm ²)	RL (mg/Kg)	Results (mg/cm ²)
1	Hall Bath	Paint Chip Pb-1	0.045	1	0.0513	0.1322

Results that are presented in this report only pertain to the samples that were tested. The results only apply to the Sample(s) that were received. QC method results are acceptable unless noted otherwise. Sample conditions are acceptable at the time of sample receipt unless noted otherwise.



Vanguard Environmental Testing

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 Woodinville, WA 98072
 (425) 471-9690
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TURN AROUND TIME:	
Rush	<input checked="" type="checkbox"/>
24 Hr/Same Day	<input type="checkbox"/>
48 Hr/ Next Day	<input type="checkbox"/>

CHAIN OF CUSTODY

Lead (Pb) SAMPLING

Paint Chip (cm): Paint Chip (%) Soil Air Filter Dust Wipe

Customer Name: Alpine Cleaning & Restoration Address: 1620 75th St SW, Everett, WA 98203 Phone: (425) 970-8205

Project Manager: Marc Olds Project Manager Email: marc@alpinecleaning.net Phone: 425-626-4985

Project Number: _____ Project Name: KCHA-Cascadian Apts.

Project Address 15517 NE 12th St. Unit: K126 City: Bellevue State/ Zip: WA

Number of Samples 1 98007

SEQ #	Sample Location E.g. (Kitchen wall/Floor)	Sample Description E.g. (Paint, Soil, Dust wipe...)	Sample Size Paint Chip (cm) Only	SEQ #	Sample Location E.g. (Kitchen wall/Floor)	Sample Description E.g. (Paint, Soil, Dust wipe...)	Sample Size Paint Chip (cm) Only
1	<u>Hall Bath</u>	<u>PR-1</u>	<u>paint chip</u>	16			
2				17			
3				18			
4				19			
5				20			
6				21			
7				22			
8				23			
9				24			
10				25			
11				26			
12				27			
13				28			
14				29			
15				30			

	Print Name	Signature	Company Name	Date	Time
Sampled	<u>Marc Olds</u>	<u>[Signature]</u>	<u>Alpine Cleaning & Restoration</u>	<u>7/11/24</u>	<u>3:30pm</u>
Relinquished	<u>Marc Olds</u>	<u>[Signature]</u>	<u>Alpine Cleaning & Restoration</u>	<u>7/12/24</u>	<u>12:30pm</u>
Delivered			<u>Alpine Cleaning & Restoration</u>		
Received	<u>CASS ROGERS</u>	<u>[Signature]</u>	<u>Vanguard Environmental Testing</u>	<u>7-12-24</u>	<u>12:35</u>
Analyzed	<u>C ROGERS</u>	<u>[Signature]</u>	<u>Vanguard Environmental Testing</u>	<u>7-12-24</u>	<u>12:40</u>
Reported	<u>[Signature]</u>	<u>[Signature]</u>	<u>Vanguard Environmental Testing</u>	<u>7/12/2024</u>	<u>15:42</u>

How would you like to be notified?

Email Phone

For Lab Use ONLY: Condition of Samples		
Good: <input type="checkbox"/>	Damaged: <input type="checkbox"/>	Severe Damage: <input type="checkbox"/>

Vanguard Environmental Testing guarantees the test results provided are of a precision normal with the type of methods recognized in asbestos analysis. Vanguard Environmental Testing accepts no legal responsibility for the purpose for which the client uses the test results. By signing on this Chain of Custody form the client agrees to relieve Vanguard Environmental Testing of any and all liability that may arise from the test results.




Vanguard Environmental Testing
 15620 NE Woodinville Duvall Pl, Suite 6, Woodinville, WA 98072
 (425) 471-9690
 Info@Vanguardenvironmentaltesting.com

Analysis of Asbestos in Bulk Materials by EPA 600/R-93/116 and App. E to Sub. E of 40 CFR Part 763 Methods Using Polarized Light Microscopy & 40 CFR Appendix E to Subpart E of Part 763, Interim Method of Determination of Asbestos in Bulk Insulation Samples


Amount of Asbestos Found	Range of Visual Estimation	Point Count Required for Validation of Results
*Trace Amounts	.01% to 2%	Required
1%	.5% to 3%	Required
2%	1% to 4%	Suggested
3%	2% to 5%	Not Required but Suggested
4%	3% to 6%	Not Required
5%	4% to 7%	Not Required

Attn: Bryce Muller
 Alpine Cleaning & Restoration
 1620 75th St SW, Everett, WA 98203
 Project: ACR-KCHA Cascadian-Unit K326
 KCHA Cascadian
 15517 NE 12th St, Unit K326, Bellevue, WA 98007

Office Phone: (425) 471-9690
 Date Received: 7/18/2024
 Date Analyzed: 7/19/2024
 Date Reported: 7/19/2024
 Samples Received: 6
 Samples Analyzed: 6

Analyzed By: 
 Cassandra Rogers

Approved By: Alexander Harris
 Approved Signatory (If Necessary)

Reported By: 
 Cassandra Rogers

Turn Around Time: _____

Sample Analyzation Report

Seq #	Layer	Client ID	Sample Description	Layer Description	Non-Fibrous Material Type	%	Non-Asbestos Fiber Type	%	Asbestos Fiber Type	%
1	1	A1 Kitchen Floor Top Layer	Vinyl	Wood Patterned Vinyl on White Pad with Grey Backing and Beige Mastic	Other (Synthetic Material)	80%	Fiberglass	20%	Non-Detect	0%

Results that are presented in this report only pertain to the samples that were tested. The results only apply to the Sample(s) that were received. This Report is not to be used by the client to make any claim related to product certification, endorsement, or approval by NIST, NVLAP or any other agency of the Federal Government



Seq #	Layer	Client ID	Sample Description	Layer Description	Non-Fibrous Material Type	%	Non-Asbestos Fiber Type	%	Asbestos Fiber Type	%
2	1	A2 Kitchen Floor Top Layer	Vinyl	Wood Patterned Vinyl on White Pad with Grey Backing and Beige Mastic	Other (Synthetic Material)	80%	Fiberglass	20%	Non-Detect	0%
3	1	B1 Kitchen Floor Middle Layer	Vinyl	Beig Mastic on Beige Vinyl and Fibrous Backing	Other (Synthetic Material)	90%	Fiberglass	10%	Non-Detect	0%
4	1	B2 Kitchen Floor Middle Layer	Vinyl	Tan Wood Patterned Vinyl on White Pad with Grey Fibrous Backing	Other (Synthetic Material)	60%	Cellulose & Fiberglass	30% & 10%	Non-Detect	0%
5	1	C1 Kitchen Floor Bottom Layer	Vinyl	Cream/ Brown Patterned Vinyl on Dark Grey Fibrous Backing	Other (Synthetic Material)	60%	Cellulose & Fiberglass & Polyethylene	20% & 10% & 10%	Non-Detect	0%
6	1	C2 Kitchen Floor Bottom Layer	Vinyl	Cream/ Brown Patterned Vinyl on Dark Grey Fibrous Backing	Other (Synthetic Material)	60%	Cellulose & Fiberglass & Polyethylene	20% & 10% & 10%	Non-Detect	0%

Results that are presented in this report only pertain to the samples that were tested. The results only apply to the Sample(s) that were received. This Report is not to be used by the client to make any claim related to product certification, endorsement, or approval by NIST, NVLAP or any other agency of the Federal Government



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 Woodinville, WA 98072
 (425) 471-9690
 Info@VanguardEnvironmentalTesting.com

TURN AROUND TIME:	
Rush	<input type="checkbox"/>
24 Hr/Same Day	<input checked="" type="checkbox"/>
48 Hr/Next Day	<input type="checkbox"/>

CHAIN OF CUSTODY PLM BULK SAMPLING

BULK Asbestos Test Point Count (400/1000): Tape:

Customer Name: Alpine Cleaning & Restoration **Address:** 1620 75th St SW, Everett, WA 98203 **Phone:** (425) 970-8205

Project Manager: Bryce Muller **Project Manager Email:** bryce.muller@alpinecleaning.net **Phone:** 425-327-5981

Project Number: **Project Name:** KCHA Cascadian

Project Address: 15517 W 12th St **Unit:** K326 **City:** Bellevue WA **State/Zip:** 98007

Number of Samples: 6

SEQ#	Sample Location E.g. (Kitchen wall/Floor)	Sample Description E.g. (Vinyl, Drywall, Insulation)	SEQ#	Sample Location E.g. (Kitchen wall/Floor)	Sample Description E.g. (Vinyl, Drywall, Insulation)
1	A1 Kitchen floor top layer	vinyl	16		
2	A2 Kitchen floor top layer	vinyl	17		
3	B1 Kitchen floor middle layer	vinyl	18		
4	B2 Kitchen floor middle layer	vinyl	19		
5	C1 Kitchen floor bottom layer	vinyl	20		
6	C2 Kitchen floor bottom layer	vinyl	21		
7			22		
8			23		
9			24		
10			25		
11			26		
12			27		
13			28		
14			29		
15			30		

	Print Name	Signature	Company Name	Date	Time
Sampled	Bryce Muller	<i>[Signature]</i>	Alpine Cleaning & Restoration	7/18/24	12:46
Relinquished	Bryce Muller	<i>[Signature]</i>	Alpine Cleaning & Restoration	7/18/24	3:30
Delivered			Alpine Cleaning & Restoration		
Received	Alex Hays	<i>[Signature]</i>	Vanguard Environmental Testing	7/18/2024	21:00
Analyzed	Cass Rogers	<i>[Signature]</i>	Vanguard Environmental Testing	7-19-24	11:35
Reported	Cass Rogers	<i>[Signature]</i>	Vanguard Environmental Testing	7-19-24	12:58

How would you like to be notified?

Email Phone

For Lab Use ONLY: Condition of Samples		
Good: <input checked="" type="checkbox"/>	Damaged: <input type="checkbox"/>	Severe Damage: <input type="checkbox"/>

Vanguard Environmental Testing guarantees the test results provided are of a precision normal with the type of methods recognized in asbestos analysis. Vanguard Environmental Testing accepts no legal responsibility for the purpose for which the client uses the test results. By signing on this Chain of Custody form the client agrees to relieve Vanguard Environmental Testing of any and all liability that may arise from the test results.




Vanguard Environmental Testing
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 (425) 471-9690
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Analysis of Asbestos in Bulk Materials by EPA 600/R-93/116 and App. E to Sub. E of 40 CFR Part 763 Methods Using Polarized Light Microscopy & 40 CFR Appendix E to Subpart E of Part 763, Interim Method of Determination of Asbestos in Bulk Insulation Samples

Amount of Asbestos Found	Range of Visual Estimation	Point Count Required for Validation of Results
*Trace Amounts	.01% to 2%	Required
1%	.5% to 3%	Required
2%	1% to 4%	Suggested
3%	2% to 5%	Not Required but Suggested
4%	3% to 6 %	Not Required
5%	4% to 7%	Not Required

Attn: Kaitlyn Kaczka
 Alpine Cleaning & Restoration
 1620 75th St SW, Everett, WA 98203
 Project: ACR-KCHA Cascadian-Unit K325
 KCHA Cascadian
 15517 NE 12th St, Unit K325, Bellevue, WA 98007

Office Phone: (425) 471-9690
 Date Received: 7/25/2024
 Date Analyzed: 7/26/2024
 Date Reported: 7/26/2024
 Samples Received: 6
 Samples Analyzed: 6

Analyzed By: 
 Cassandra Rogers

Approved By: Alexander Harris
 Approved Signatory (If Necessary)

Reported By: 
 Cassandra Rogers

Turn Around Time: _____

Sample Analyzation Report

Seq #	Layer	Client ID	Sample Description	Layer Description	Non-Fibrous Material Type	%	Non-Asbestos Fiber Type	%	Asbestos Fiber Type	%
1	I	Entry Vinyl	Layer 1 A-1	Wood Patterned Vinyl on Cream Pad with Yellow Mastic	Other (Synthetic Material)	60%	Fiberglass	40%	Non-Detect	0%

Results that are presented in this report only pertain to the samples that were tested. The results only apply to the Sample(s) that were received. This Report is not to be used by the client to make any claim related to product certification, endorsement, or approval by NIST, NVLAP or any other agency of the Federal Government



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Seq #	Layer	Client ID	Sample Description	Layer Description	Non-Fibrous Material Type	%	Non-Asbestos Fiber Type	%	Asbestos Fiber Type	%
2	1	Entry Vinyl	Layer 2 B-2	Cream Vinyl on Pad with Grey Fibrous Backing and Cream Mastic	Other (Synthetic Material)	60%	Cellulose & Fiberglass	30% & 10%	Non-Detect	0%
3	1	Entry Vinyl	Layer 3 C-3	Cream Vinyl on Pad with Grey Fibrous Backing and Cream Mastic	Other (Synthetic Material)	50%	Cellulose & Fiberglass	40% & 10%	Non-Detect	0%
4	1	Entry Vinyl	Layer 1 D-1	Wood Patterned Vinyl on Cream Pad with Yellow Mastic	Other (Synthetic Material)	60%	Fiberglass	40%	Non-Detect	0%
5	1	Entry Vinyl	Layer 2 E-2	Cream Vinyl on Pad with Grey Fibrous Backing and Cream Mastic	Other (Synthetic Material)	60%	Cellulose & Fiberglass	30% & 10%	Non-Detect	0%
6	1	Entry Vinyl	Layer 3 F-3	Cream Vinyl on Pad with Grey Fibrous Backing and Cream Mastic	Other (Synthetic Material)	50%	Cellulose & Fiberglass	40% & 10%	Non-Detect	0%

Results that are presented in this report only pertain to the samples that were tested. The results only apply to the Sample(s) that were received. This Report is not to be used by the client to make any claim related to product certification, endorsement, or approval by NIST, NVLAP or any other agency of the Federal Government



Vanguard Environmental Testing

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 Woodinville, WA 98072
 (425) 471-9690
 Info@VanguardEnvironmentalTesting.com

TURN AROUND TIME:	
Rush	<input type="checkbox"/>
24 Hr/Same Day	<input checked="" type="checkbox"/>
48 Hr/Next Day	<input type="checkbox"/>

**CHAIN OF CUSTODY
 PLM BULK SAMPLING**

BULK Asbestos Test Point Count (400/1000): Tape:

Customer Name: Alpine Cleaning & Restoration Address: 1620 75th St SW, Everett, WA 98203 Phone: (425) 970-8205

Project Manager: Karly K Project Manager Email: _____ Phone: _____

Project Number: _____ Project Name: KCHA Cascadian

Project Address 15517 NE 12th St Unit: 325 City: Bellevue State/ Zip: 98007 WA

Number of Samples 6

SEQ#	Sample Location E.g. (Kitchen wall/Floor)	Sample Description E.g. (Vinyl, Drywall, Insulation)	SEQ#	Sample Location E.g. (Kitchen wall/Floor)	Sample Description E.g. (Vinyl, Drywall, Insulation)
1	Entry	Vinyl layer 1-A-1	16		
2	Entry	Vinyl layer 2-B-2	17		
3	Entry	Vinyl layer 3-C-3	18		
4	Entry	Vinyl layer 4-D-1	19		
5	Entry	Vinyl layer 2-E-2	20		
6	Entry	Vinyl layer 3-F-3	21		
7			22		
8			23		
9			24		
10			25		
11			26		
12			27		
13			28		
14			29		
15			30		

	Print Name	Signature	Company Name	Date	Time
Sampled	<u>Tatiana Pal</u>	<u>[Signature]</u>	Alpine Cleaning & Restoration	<u>7/25/24</u>	<u>3:21</u>
Relinquished	<u>Tatiana Pal</u>	<u>[Signature]</u>	Alpine Cleaning & Restoration	<u>7/25/24</u>	<u>5:30</u>
Delivered			Alpine Cleaning & Restoration		
Received	<u>Alex Han</u>	<u>[Signature]</u>	Vanguard Environmental Testing	<u>7/25/24</u>	<u>18:00</u>
Analyzed	<u>Cecilia Rogers</u>	<u>[Signature]</u>	Vanguard Environmental Testing	<u>7/26/24</u>	<u>9:40</u>
Reported	<u>Cecilia Rogers</u>	<u>[Signature]</u>	Vanguard Environmental Testing	<u>7/26/24</u>	<u>11:26</u>

How would you like to be notified?
 Email Phone

For Lab Use ONLY: Condition of Samples		
Good: <input checked="" type="checkbox"/>	Damaged: <input type="checkbox"/>	Severe Damage: <input type="checkbox"/>

Vanguard Environmental Testing guarantees the test results provided are of a precision normal with the type of methods recognized in asbestos analysis. Vanguard Environmental Testing accepts no legal responsibility for the purpose for which the client uses the test results. By signing on this Chain of Custody form the client agrees to relieve Vanguard Environmental Testing of any and all liability that may arise from the test results.



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 (425) 471-9690
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Analysis of Asbestos in Bulk Materials by EPA 600/R-93/116 and App. E to Sub. E of 40 CFR Part 763 Methods Using Polarized Light Microscopy & 40 CFR Appendix E to Subpart E of Part 763, Interim Method of Determination of Asbestos in Bulk Insulation Samples

Amount of Asbestos Found	Range of Visual Estimation	Point Count Required for Validation of Results
*Trace Amounts	.01% to 2%	Required
1%	.5% to 3%	Required
2%	1% to 4%	Suggested
3%	2% to 5%	Not Required but Suggested
4%	3% to 6%	Not Required
5%	4% to 7%	Not Required

Attn: Marc Olds
 Alpine Cleaning & Restoration
 1620 75th St SW, Everett, WA 98203
 Project: ACR-KCHA-Cascadian Apts- Unit 126
 KCHA-Cascadian Apts
 15517 NE 12th St. Unit 126. Bellevue, WA 98007

Office Phone: (425) 471-9690
 Date Received: 7/12/2024
 Date Analyzed: 7/12/2024
 Date Reported: 7/12/2024
 Samples Received: 3
 Samples Analyzed: 3

Analyzed By: 
 Cassandra Rogers

Approved By: Alexander Harris
 Approved Signatory (If Necessary)

Reported By: 
 Cassandra Rogers

Turn Around Time: _____

Sample Analyzation Report

Seq #	Layer	Client ID	Sample Description	Layer Description	Non-Fibrous Material Type	%	Non-Asbestos Fiber Type	%	Asbestos Fiber Type	%
1	1	Hall Bath Ceiling	D-1 Drywall	White Texture	Other (Calcium Sulfate Material)	100%	Non-Detect	0%	Non-Detect	0%
1	2	Hall Bath Ceiling	D-1 Drywall	White Paint	Other (Paint)	100%	Non-Detect	0%	Non-Detect	0%
1	3	Hall Bath Ceiling	D-1 Drywall	White Texture	Other (Calcium Sulfate Material)	100%	Non-Detect	0%	Non-Detect	0%

Results that are presented in this report only pertain to the samples that were tested. The results only apply to the Sample(s) that were received. This Report is not to be used by the client to make any claim related to product certification, endorsement, or approval by NIST, NVLAP or any other agency of the Federal Government



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 15620 NE Woodinville Duvall Pl, Suite 6, Woodinville, WA 98072
 (425) 471-9690
 Info@Vanguardenvironmentaltesting.com

Seq #	Layer	Client ID	Sample Description	Layer Description	Non-Fibrous Material Type	%	Non-Asbestos Fiber Type	%	Asbestos Fiber Type	%
1	4	Hall Bath Ceiling	D-1 Drywall	Brown Paper	Other (Gypsum Material)	2%	Cellulose	98%	Non-Detect	0%
1	5	Hall Bath Ceiling	D-1 Drywall	White Gypsum Board	Other (Gypsum Material)	96%	Cellulose & Fiberglass	1% & 3%	Non-Detect	0%
2	1	Hall Bath Wall	D-2 Drywall	White Paint with Texture	Other (Paint/ Calcium Sulfate Material)	100%	Non-Detect	0%	Non-Detect	0%
2	2	Hall Bath Wall	D-2 Drywall	Brown Paper	Other (Gypsum Material)	2%	Cellulose	98%	Non-Detect	0%
2	3	Hall Bath Wall	D-2 Drywall	White Gypsum Board	Other (Gypsum Material)	99%	Cellulose	1%	Non-Detect	0%
3	1	Master Bath Wall	D-3 Drywall	White Paint	Other (Paint)	100%	Non-Detect	0%	Non-Detect	0%
3	2	Master Bath Wall	D-3 Drywall	Beige Paint with Texture	Other (Paint/ Calcium Sulfate Material)	100%	Non-Detect	0%	Non-Detect	0%
3	3	Master Bath Wall	D-3 Drywall	White Gypsum Board	Other (Gypsum Material)	97%	Fiberglass	3%	Non-Detect	0%

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TURN AROUND TIME:	
Rush	<input checked="" type="checkbox"/>
24 Hr/Same Day	<input type="checkbox"/>
48 Hr/Next Day	<input type="checkbox"/>

**CHAIN OF CUSTODY
 PLM BULK SAMPLING**

BULK Asbestos Test Point Count (400/1000): Tape:

Customer Name: Alpine Cleaning & Restoration Address: 1620 75th St SW, Everett, WA 98203 Phone: (425) 970-8205

Project Manager: Marc Olds Project Manager Email: marc@alpinecleaning.net Phone: 425-626-4985

Project Number: _____ Project Name: KCHA - Cascadian Apts

Project Address 15517 NE 12th St Unit: K-126 City: Bellevue State/ Zip: WA

Number of Samples 3 98007

SEQ#	Sample Location E.g. (Kitchen wall/Floor)	Sample Description E.g. (Vinyl, Drywall, Insulation)	SEQ#	Sample Location E.g. (Kitchen wall/Floor)	Sample Description E.g. (Vinyl, Drywall, Insulation)
1	<u>Hall Bath ceiling</u>	<u>D-1 Drywall</u>	16		
2	<u>Hall Bath wall</u>	<u>D-2 Drywall</u>	17		
3	<u>Master Bath wall</u>	<u>D-3 Drywall</u>	18		
4			19		
5			20		
6			21		
7			22		
8			23		
9			24		
10			25		
11			26		
12			27		
13			28		
14			29		
15			30		

	Print Name	Signature	Company Name	Date	Time
Sampled	<u>Marc Olds</u>	<u>[Signature]</u>	<u>Alpine Cleaning & Restoration</u>	<u>7/11/24</u>	<u>3:50pm</u>
Relinquished	<u>Marc Olds</u>	<u>[Signature]</u>	<u>Alpine Cleaning & Restoration</u>	<u>7/12/24</u>	<u>12:30pm</u>
Delivered			<u>Alpine Cleaning & Restoration</u>		
Received	<u>Cass Rogers</u>	<u>[Signature]</u>	<u>Vanguard Environmental Testing</u>	<u>7-12-24</u>	<u>12:35</u>
Analyzed	<u>Cass Rogers</u>	<u>[Signature]</u>	<u>Vanguard Environmental Testing</u>	<u>7-12-24</u>	<u>12:40</u>
Reported	<u>Cass Rogers</u>	<u>[Signature]</u>	<u>Vanguard Environmental Testing</u>	<u>7-12-24</u>	<u>13:15</u>

How would you like to be notified?

Email Phone

For Lab Use ONLY: Condition of Samples

Good: Damaged: Severe Damage:

Vanguard Environmental Testing guarantees the test results provided are of a precision normal with the type of methods recognized in asbestos analysis. Vanguard Environmental Testing accepts no legal responsibility for the purpose for which the client uses the test results. By signing on this Chain of Custody form the client agrees to relieve Vanguard Environmental Testing of any and all liability that may arise from the test results.




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Analyzation of Asbestos in Bulk Materials by EPA 600/R-93/116 and App. E to Sub. E of 40 CFR Part 763 Methods Using Polarized Light Microscopy & 40 CFR Appendix E to Subpart E of Part 763, Interim Method of Determination of Asbestos in Bulk Insulation Samples


Amount of Asbestos Found	Range of Visual Estimation	Point Count Required for Validation of Results
*Trace Amounts	.01% to 2%	Required
1%	.5% to 3%	Required
2%	1% to 4%	Suggested
3%	2% to 5%	Not Required but Suggested
4%	3% to 6%	Not Required
5%	4% to 7%	Not Required

Attn: Bryce Muller
 Alpine Cleaning & Restoration
 1620 75th St SW, Everett, WA 98203
 Project: ACR-KCHA Cascadian-Unit K125
 KCHA Cascadian
 15517 NE 12th St, Unit K125, Bellevue, WA 98007

Office Phone: (425) 471-9690
 Date Received: 7/18/2024
 Date Analyzed: 7/19/2024
 Date Reported: 7/19/2024
 Samples Received: 3
 Samples Analyzed: 3

Analyzed By: 
 Cassandra Rogers

Approved By: Alexander Harris
 Approved Signatory (If Necessary)

Reported By: 
 Cassandra Rogers

Turn Around Time: _____

Sample Analyzation Report

Seq #	Layer	Client ID	Sample Description	Layer Description	Non-Fibrous Material Type	%	Non-Asbestos Fiber Type	%	Asbestos Fiber Type	%
1	1	D-1 Dining Wall	Drywall	Pink with Texture	Other (Paint/ Calcium Sulfate Material)	100%	Non-Detect	0%	Non-Detect	0%
1	2	D-1 Dining Wall	Drywall	White Paint	Other (Paint)	100%	Non-Detect	0%	Non-Detect	0%
1	3	D-1 Dining Wall	Drywall	White Texture	Other (Calcium Sulfate Material)	97%	Cellulose	1%	Chrysotile	2%

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Seq #	Layer	Client ID	Sample Description	Layer Description	Non-Fibrous Material Type	%	Non-Asbestos Fiber Type	%	Asbestos Fiber Type	%
1	4	D-1 Dining Wall	Drywall	Brown Paper	Other (Gypsum Material)	2%	Cellulose	98%	Non-Detect	0%
1	5	D-1 Dining Wall	Drywall	White Gypsum Board	Other (Gypsum Material)	97%	Cellulose	3%	Non-Detect	0%
2	1	D-2 Dining Wall	Drywall	White Paint with Texture	Other (Paint/ Calcium Sulfate Material)	100%	Non-Detect	0%	Non-Detect	0%
2	2	D-2 Dining Wall	Drywall	Brown Paper	Other (Gypsum Material)	2%	Cellulose	98%	Non-Detect	0%
2	3	D-2 Dining Wall	Drywall	White Gypsum Board	Other (Gypsum Material)	95%	Cellulose	5%	Non-Detect	0%
2	4	D-2 Dining Wall	Drywall	Brown Paper	Other (Gypsum Material)	2%	Cellulose	98%	Non-Detect	0%
3	1	D-3 Dining Wall	Drywall	White Paint with Texture	Other (Paint/ Calcium Sulfate Material)	100%	Non-Detect	0%	Non-Detect	0%
3	2	D-3 Dining Wall	Drywall	White Paint with Texture	Other (Paint/ Calcium Sulfate Material)	100%	Non-Detect	0%	Non-Detect	0%
3	3	D-3 Dining Wall	Drywall	White Paint with Texture	Other (Paint/ Calcium Sulfate Material)	100%	Non-Detect	0%	Non-Detect	0%

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TURN AROUND TIME:	
Rush	<input type="checkbox"/>
24 Hr/Same Day	<input checked="" type="checkbox"/>
48 Hr/Next Day	<input type="checkbox"/>

CHAIN OF CUSTODY PLM BULK SAMPLING

BULK Asbestos Test Point Count (400/1000): Tape:

Customer Name: Alpine Cleaning & Restoration **Address:** 1620 75th St SW, Everett, WA 98203 **Phone:** (425) 970-8205

Project Manager: Bryce Muller **Project Manager Email:** bryce.muller@alpinecleaning.net **Phone:** 425-327-5981

Project Number: **Project Name:** KCHA Cascadian

Project Address: 15517 NE 12th St **Unit:** K125 **City:** Bellevue **State/ Zip:** WA 98007

Number of Samples: 3

SEQ#	Sample Location E.g. (Kitchen wall/Floor)	Sample Description E.g. (Vinyl, Drywall, Insulation)	SEQ#	Sample Location E.g. (Kitchen wall/Floor)	Sample Description E.g. (Vinyl, Drywall, Insulation)
1	D-1 dining wall	dry wall	16		
2	D-2 dining wall	dry wall	17		
3	D-3 dining wall	dry wall	18		
4			19		
5			20		
6			21		
7			22		
8			23		
9			24		
10			25		
11			26		
12			27		
13			28		
14			29		
15			30		

	Print Name	Signature	Company Name	Date	Time
Sampled	Bryce Muller	<i>[Signature]</i>	Alpine Cleaning & Restoration	7/18/24	12:38
Relinquished	Bryce Muller	<i>[Signature]</i>	Alpine Cleaning & Restoration	7/18/24	3:30
Delivered			Alpine Cleaning & Restoration		
Received	Alex Ha	<i>[Signature]</i>	Vanguard Environmental Testing	7/18/24	2:00
Analyzed	Cass Rogers	<i>[Signature]</i>	Vanguard Environmental Testing	7-19-24	11:00
Reported	Cass Rogers	<i>[Signature]</i>	Vanguard Environmental Testing	7-19-24	15:15

How would you like to be notified?
 Email Phone

For Lab Use ONLY: Condition of Samples		
Good: <input checked="" type="checkbox"/>	Damaged: <input type="checkbox"/>	Severe Damage: <input type="checkbox"/>

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