

LEGAL DESCRIPTION:

(PER STATUTORY WARRANTY DEED RECORDED UNDER RECORDING NO. 20031103001766, RECORDS OF KING COUNTY, WASHINGTON)

PARCEL A:

THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SUBDIVISION, THENCE WESTERLY ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER, 30 FEET TO THE WEST LINE OF 96TH AVENUE NORTHEAST AND THE TRUE POINT OF BEGINNING;
 THENCE SOUTHERLY ALONG THE WEST LINE OF 96TH AVENUE NORTHEAST TO THE SOUTH LINE OF THE NORTH HALF OF SAID NORTHEAST QUARTER OF THE NORTHWEST QUARTER;
 THENCE WESTERLY ALONG SAID SOUTH LINE 140 FEET;
 THENCE NORTHWESTERLY TO A POINT ON THE NORTH LINE OF SAID NORTHEAST QUARTER, 175 FEET WESTERLY OF THE TRUE POINT OF BEGINNING;
 THENCE EASTERLY 175 FEET ALONG SAID NORTH LINE TO THE TRUE POINT OF BEGINNING;
 EXCEPT THE EAST 90 FEET OF THE SOUTH 235 FEET THEREOF.

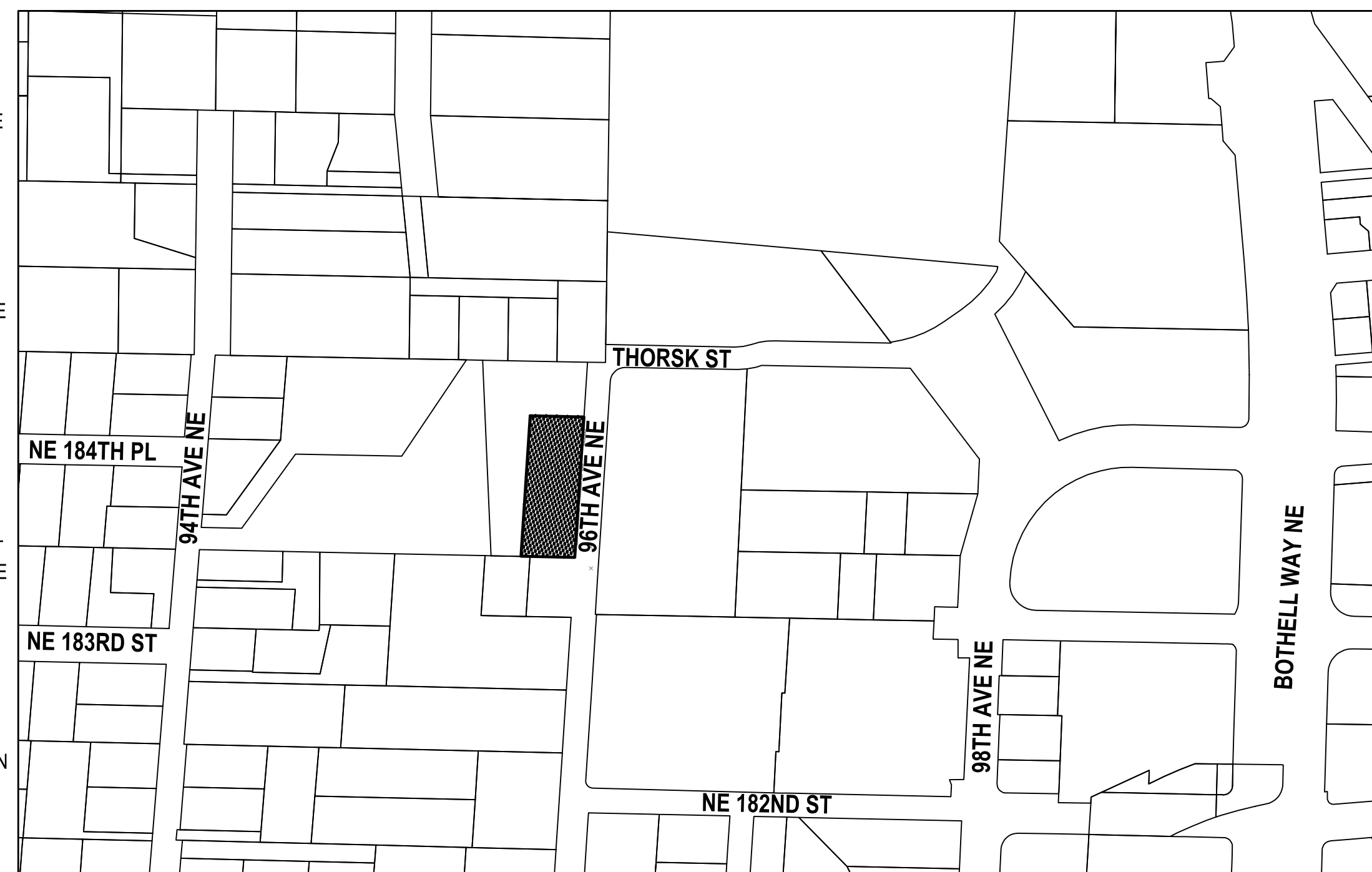
PARCEL B:

THE EAST 90 FEET OF THE SOUTH 235 FEET OF THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

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ABBREVIATIONS

AD	AREA DRAIN	MNRL	MINERAL NUMBER
AGG	AGGREGATE	N	NORTH
APPROX	APPROXIMATELY	NTS	NOT TO SCALE
ARCH	ARCHITECTURAL	OWW	OIL WATER SEPARATOR
ASPH	ASPHALT	P	PRIMARY POWER
AVE	AVENUE	PED	PEDESTRIAN
B/BC	BOTTOM OF CURB	PIP	PROTECT IN PLACE
BM	BENCHMARK	PIV	POST INDICATOR VALVE
BMP	BEST MANAGEMENT PRACTICES	PL	PROPERTY LINE
CB	CATCH BASIN	POC	POINT OF CONNECTION
CD	CONDUIT DUCT	PSE	PUGET SOUND ENERGY
CL, c	CENTER LINE, CLASS	PRC	POINT OF REVERSE CURVATURE
CO	CLEANOUT	PC	POINT OF CURVATURE
COMM	COMMUNICATIONS	PT	POINT OF TANGENCY
CONC	CONCRETE	PUD	SNOHOMISH COUNTY PUBLIC UTILITY DISTRICT
COE	CITY OF EVERETT	R	RADIUS
CSBC	CRUSHED SURFACE BASE COURSE	RJ	RESTRAINED JOINT
CSTC	CRUSHED SURFACE TOP COURSE	RL	RIGHT OF WAY LINE
DB	DUCT BANK	ROW	RIGHT OF WAY
DI	DUCTILE IRON	RT	RIGHT
DOE	DEPARTMENT OF ECOLOGY	S	SOUTH
DSP	BUILDING DOWNSPOUT	SD	SERVICE DRAIN (STORM)
DWG	DRAWING	SF	SQUARE FEET
DWY, D/W	DRIVEWAY	SL	STREET LIGHT
E	EAST	SNS	STREET NAME SIGN
ECB	ELECTRICAL CONDUIT, BURIED	SS	SIDE SEWER COMBINED
ECD	ELECTRICAL CONDUIT, DUCT	SSS	SIDE SEWER SANITARY
ELEC	ELECTRICAL	ST	STREET
EL/ELEV	ELEVATION	STA	STATION
ESMT	EASEMENT	STD	STANDARD
EX/EXIST	EXISTING	SVC	SERVICE
FDC	FIRE DEPARTMENT CONNECTION	SW	SOLVENT WELD
FF	FINISHED FLOOR	SW	SIDEWALK
FG	FINISH GRADE	TBD	TO BE DETERMINED
FH	FIRE HYDRANT	TBM	TEMPORARY BENCH MARK
FL	FLOW LINE	TC	TOP OF CURB
FL	FLANGE	TESC	TEMPORARY EROSION AND SEDIMENTARY CONTROL
FND	FOUNDATION	TFG	TO FINISH GRADE
FO	FIBER OPTIC	TOW	TOP OF WALL
FU	FRANCHISE UTILITY	TR	TRAFFIC
G	GAS	TS	TRAFFIC SIGNAL
GV	GATE VALVE	TTE	TOP OF THICKENED EDGE
HH	HANDHOLE	TYP	TYPICAL
HMA	HOT MIX ASPHALT	UNO	UNLESS NOTED OTHERWISE
LA	LANDSCAPE ARCH	W	WATER, WEST, WITH WASHINGTON ADMINISTRATIVE CODE
LT	LEFT	WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION
MAX	MAXIMUM	#	NUMBER
ME	MATCH EXISTING	&	AND
MEP	MECHANICAL /ELECTRICAL /PLUMBING		
MH	MANHOLE		
MIN	MINIMUM		
MJ	MECHANICAL JOINT		



VICINITY MAP

SCALE: 1" = 200'

SHEET INDEX

SHEET NO	SHEET TITLE
C1.0	COVER SHEET
1	SURVEY
C1.1	NOTES
C2.0	TESC PLAN
C2.1	TESC DETAILS
C3.0	DEMOLITION PLAN
C4.0	GRADING AND DRAINAGE PLAN
C4.1	GRADING AND DRAINAGE DETAILS
C4.2	WALL PROFILE
S4.01	STRUCTURAL DETAILS
C5.0	PAVING AND CHANNELIZATION
C5.1	PAVING SECTIONS AND DETAILS
C6.0	STREET FRONTAGE IMPROVEMENTS PLAN

SURVEY LEGEND & ABBREVIATIONS

	WATER METER
	WATER RISER
	WATER BLOW-OFF
	FIRE HYDRANT
	SEWER MANHOLE
	SEWER CLEANOUT
	STORM CATCH BASIN
	STORM ROOF DRAIN/DOWNSPOUT
	STORM AREA DRAIN
	POWER VAULT
	SIGN
	MAILBOX
	POST OR BOLLARD
	BENCH MARK
	MONUMENT (FOUND AS NOTED)
	TAX PARCEL NUMBER
	DECIDUOUS TREE
	DECIDUOUS (UNKNOWN TYPE)
	CHERRY
	MAPLE
	COTTONWOOD
	CONIFEROUS TREE
	FIR
	TREE TAG NO.
	DRIVEWAY
	EXTRUDED CONCRETE CURB
	CURB AND GUTTER
	FLOWLINE
	WHEEL STOP
	HOG WIRE FENCE
	CHAIN LINK FENCE
	ASPHALT PAVING
	CONCRETE PAVING
	BUILDING LINE
	FENCE LINE (TYPE AS NOTED)
	ROCKERY
	MAJOR CONTOURS
	MINOR CONTOURS
	STORM DRAINAGE LINE
	SANITARY SEWER LINE
	WATER LINE
	UNDERGROUND POWER LINE

PROJECT TEAM

OWNER:
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 700 ANDOVER PARK W, SUITE C
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 CarlF@KCHA.ORG

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 PH: (425) 861-6050
 ROBERT METCALFE
 RMETCALFE@GEOENGINEERS.COM

BID SET

Jul 25, 2023 - 10:40am
 Z:\200001-220999\230224 Park Royal Apartments\CADD\Design\C1.00 PR_CVR.dwg
 SamJ

NO.	DATE	BY	CHD.	APPR.	REVISION

DRAWN BY CEP	DESIGNED BY SRJ
CHECKED BY AGC	APPROVED BY AGC
DATE 07/25/2023	
JOB No.: 2200224	

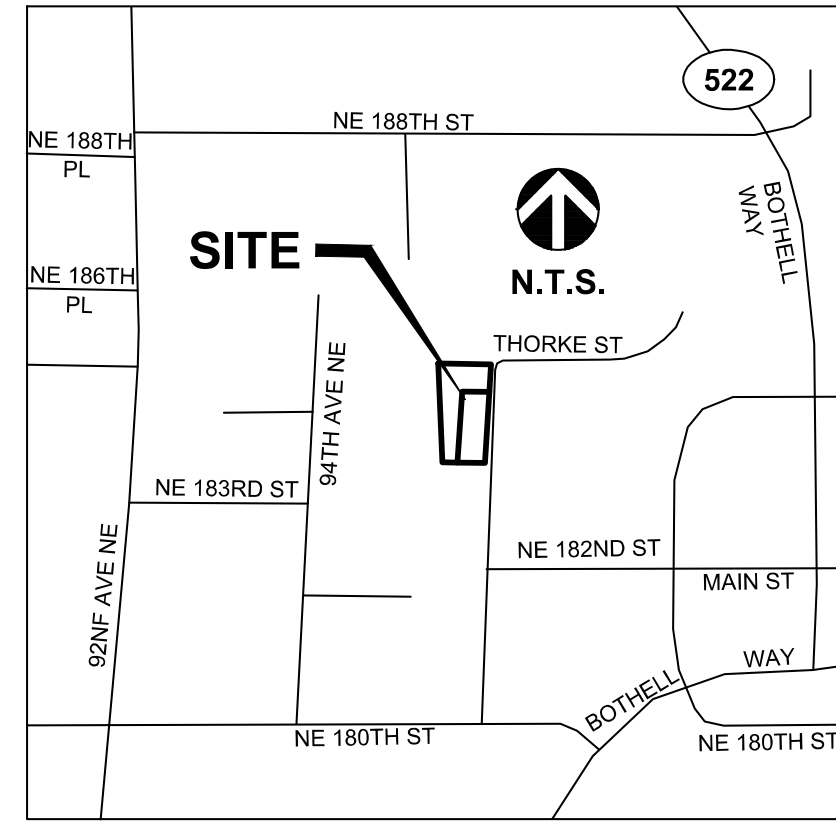
CALL TWO BUSINESS DAYS BEFORE YOU DIG
 1-800-424-5555

SCALE:



PARK ROYAL SITE BOTHELL, WASHINGTON		SHEET
COVER SHEET		C1.0

VICINITY MAP



POR. NW 1/4 OF THE NE 1/4, SEC. 7, TWP. 26 N., RNG. 5 E., W.M.

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GENERAL NOTES

- PRIMARY CONTROL POINTS AND ACCESSIBLE MONUMENT POSITIONS WERE FIELD MEASURED UTILIZING GLOBAL POSITIONING SYSTEM (GPS) SURVEY TECHNIQUES USING TRIMBLE R12 GNSS RECEIVER, MONUMENT POSITIONS THAT WERE NOT DIRECTLY OBSERVED USING GPS SURVEY TECHNIQUES WERE TIED INTO THE CONTROL POINTS UTILIZING TRIMBLE VX SPATIAL STATION ELECTRONIC TOTAL STATION FOR THE MEASUREMENT OF BOTH ANGLES AND DISTANCES. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS SET BY WAC 332-130-090.
- PROPERTY BOUNDARY SHOWN HEREON IS BASED ON CTS ENGINEERS JOB #WA09.01.M43 DATED 8-24-10.
- THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON JANUARY 30, 2023 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITION EXISTING AT THAT TIME.
- PRIMARY VERTICAL CONTROL WAS DERIVED FROM GPS MEASUREMENTS BASED ON THE WASHINGTON STATE REFERENCE NETWORK (WSRN).
- CONTOUR LINES REPRESENTED HEREON WERE DERIVED FROM CONVENTIONAL GROUND SURVEY DATA, CONTOUR LINES REPRESENTED HEREON CONFORM TO NATIONAL MAP ACCURACY STANDARDS.
- THE PURPOSE OF THE TOPOGRAPHIC ELEMENTS SHOWN HEREON ARE FOR PLANNING AND CIVIL ENGINEERING DESIGN.
- UTILITY LOCATIONS SHOWN HEREON ARE BASED ON THE SURFACE EVIDENCE OF UTILITIES AND UTILITY MAPS FROM CITY OF BOTHELL GIS. OTHER UTILITIES MAY EXIST. NO SUB-SURFACE EXPLORATION WAS MADE TO VERIFY UTILITY ROUTINGS AND THE ROUTING OF ALL BURIED UTILITIES SHOULD BE CONFIRMED WITH THE UTILITY PURVEYOR AND EXPOSED IN AREAS CRITICAL TO DESIGN OR CONSTRUCTION FOR VERIFICATION.
- STORM DRAINAGE AND SANITARY SEWER FACILITIES HAVE BEEN ASBUILT THROUGH FIELD MEASUREMENTS OF THE LOCATION OF THE ACCESS STRUCTURES, THE TOP ELEVATION OF THE STRUCTURES, AND THE INVERT ELEVATIONS OF ANY PIPES ENTERING OR LEAVING THE STRUCTURES. IT IS STANDARD PRACTICE TO SHOW THE PIPES CONNECTING THESE STRUCTURES AS STRAIGHT LINES. THIS IS ONLY AN ASSUMPTION AND THE ACTUAL LOCATION OF THE PIPING MUST BE VERIFIED IN THE FIELD BY THE CONSTRUCTION CONTRACTOR PRIOR TO ANY CONSTRUCTION.
- RECORDS OF UNDERGROUND TELECOMMUNICATIONS/FIBER OPTIC LINES WITHIN THE ADJACENT RIGHTS OF WAY ARE NOT ALWAYS AVAILABLE OR DISCLOSED TO THE PUBLIC AND LOCAL JURISDICTIONS. ROUTING COULD NOT BE VERIFIED.
- NO EASEMENTS, RESTRICTIONS OR RESERVATION OF RECORD WHICH WOULD BE DISCLOSED BY TITLE REPORT ARE SHOWN.

BASIS OF BEARINGS

WASHINGTON STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD83-2011, HELD A BEARING OF NORTH 88°54'41" WEST ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SEC. 7, TWP. 26 N., RNG. 5 E., W.M.

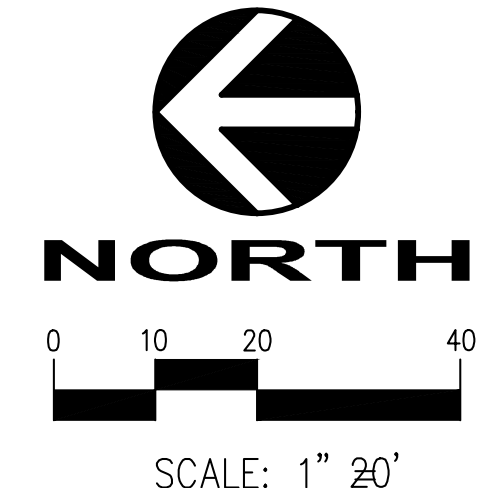
VERTICAL DATUM NAVD 88

ELEVATIONS DERIVED FROM GPS OBSERVATIONS BASED ON THE WASHINGTON STATE REFERENCE NETWORK (WSRN)

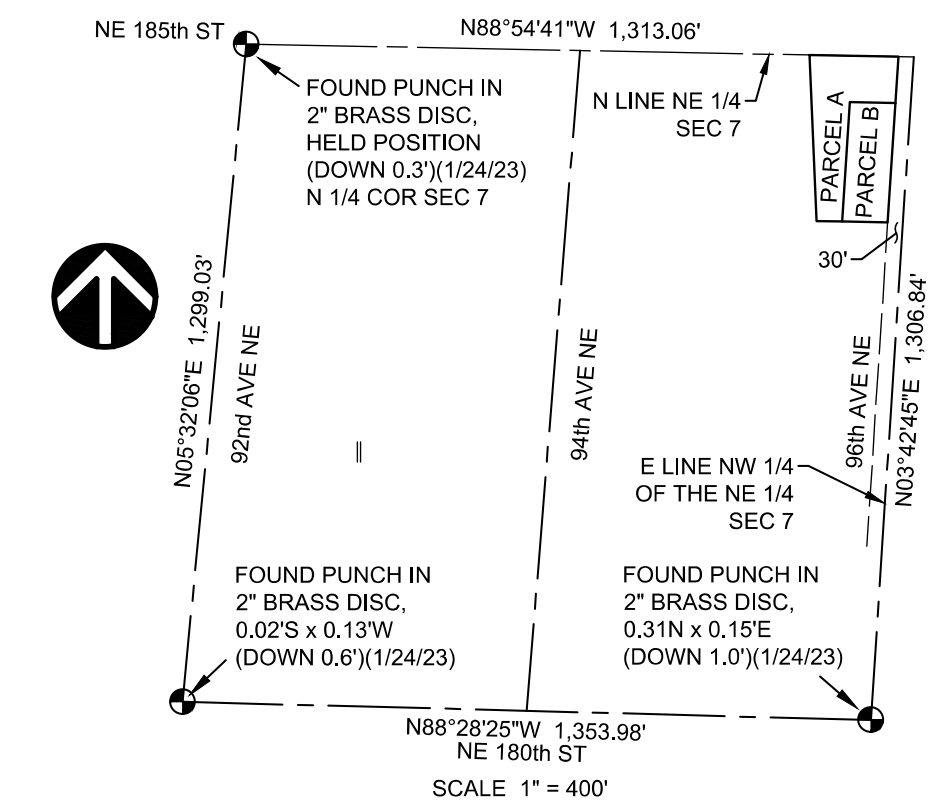
BENCH MARKS:
 TBM 'A': MAG NAIL AND WASHER IN 96TH AVE NE, 6' NORTH OF SANITARY SEWER MANHOLE, OPPOSITE NE CORNER OF PROPERTY, ELEVATION 70.96'
 TBM 'B': MAG NAIL AND WASHER IN 96TH AVE NE, 10' EAST OF FIRE HYDRANT, OPPOSITE SE CORNER OF PROPERTY, ELEVATION 62.78'

SURVEY REFERENCES

1. CTS ENGINEERS TOPOGRAPHIC SURVEY JOB #WA09.01.M43 DATED 8-24-10

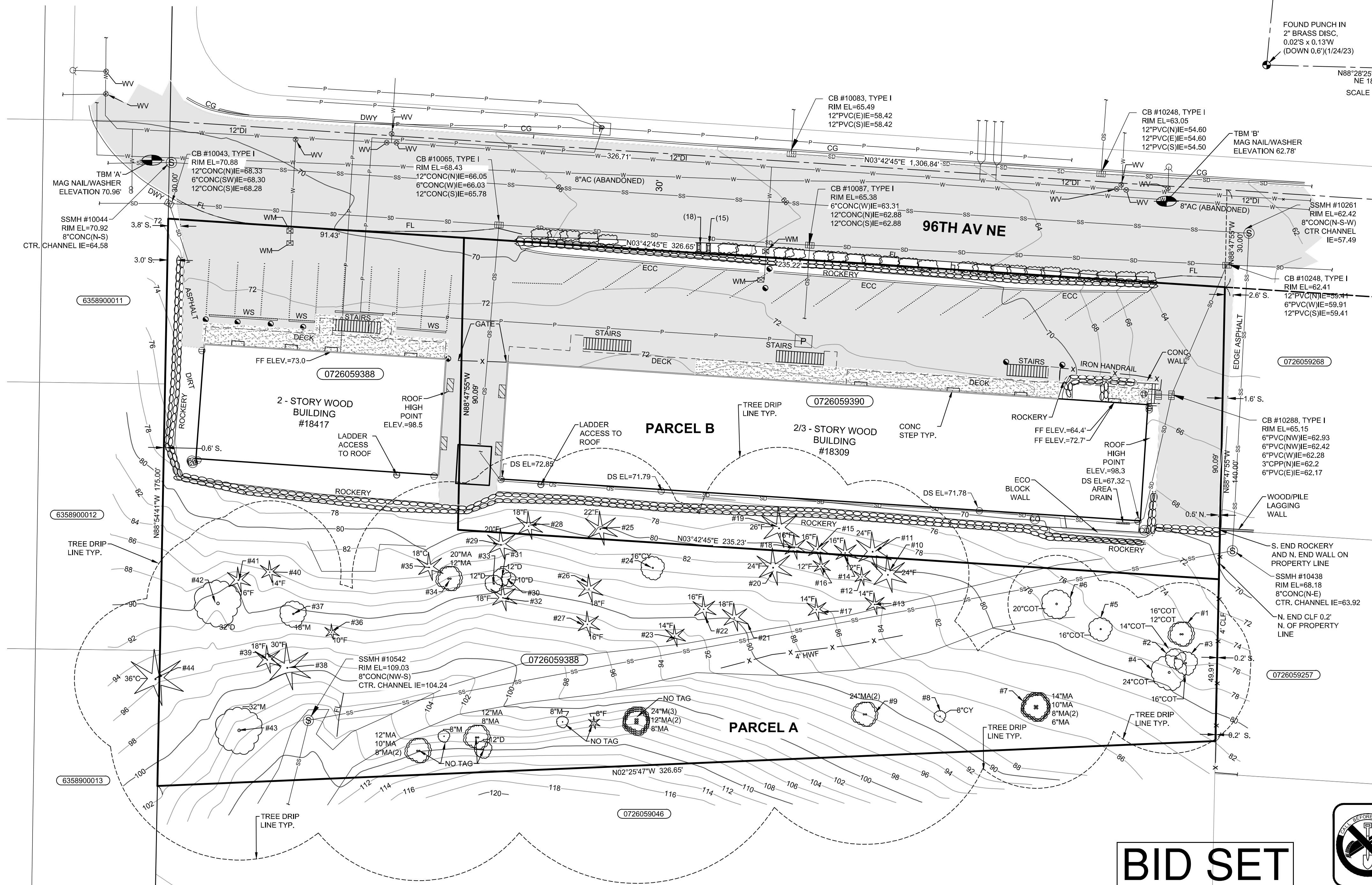


MONUMENT TIES



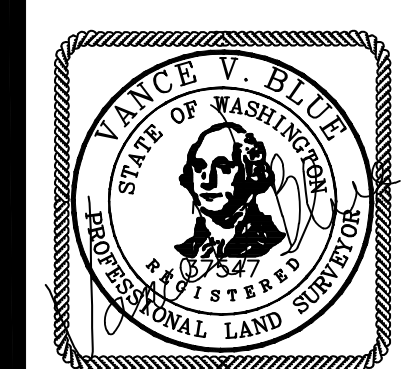
LEGEND

- WM WATER METER
- WR WATER RISER
- ∞ WATER BLOW-OFF
- ⊕ FIRE HYDRANT
- ⊙ SEWER MANHOLE
- ⊙ SEWER CLEANOUT
- ⊙ STORM CATCH BASIN
- ⊙ STORM ROOF DRAIN/DOWNSPOUT
- ⊙ STORM AREA DRAIN
- P POWER VAULT
- ⊙ SIGN
- ⊙ MAILBOX
- ⊙ POST OR BOLLARD
- ⊙ BENCH MARK
- ⊙ MONUMENT (FOUND AS NOTED)
- XXXXXXXXXX TAX PARCEL NUMBER
- ⊙ DECIDUOUS TREE
- D DECIDUOUS (UNKNOWN TYPE)
- CY CHERRY
- M MAPLE
- COT COTTONWOOD
- ★ CONIFEROUS TREE
- F FIR
- #xx TREE TAG NO.
- DWY DRIVEWAY
- ECC EXTRUDED CONCRETE CURB
- CG CURB AND GUTTER
- FL FLOWLINE
- WS WHEEL STOP
- HWF HOG WIRE FENCE
- CLF CHAIN LINK FENCE
- ASPHALT PAVING
- CONCRETE PAVING
- BUILDING LINE
- FENCE LINE (TYPE AS NOTED)
- ROCKERY
- 10 MAJOR CONTOURS
- 2 MINOR CONTOURS
- SD STORM DRAINAGE LINE
- SS SANITARY SEWER LINE
- W WATER LINE
- P UNDERGROUND POWER LINE



TOPOGRAPHIC SURVEY FOR
PARK ROYAL
KING COUNTY HOUSING AUTHORITY
18309 96TH AVENUE NE, BOTHELL, WA 98011

DAVID EVANS AND ASSOCIATES, INC.
 20300 Woodinville Shoshomish Rd. NE, Ste A
 Woodinville, Washington 98072
 Phone: 425.415.2000



REVISIONS:	APPD.

DATE: FEB. 15, 2023
 DESIGN: RVJ
 DRAWN: VVB
 CHECKED: VVB
 REVISION NUMBER:
 SCALE: 1"=20'
 PROJECT NUMBER:
KCHA00006062
 DRAWING FILE:
 SV-BS-KCHA6062 - 040423.dwg
 SHEET NO.

BID SET

CALL BEFORE YOU DIG
 Call: TOLL FREE
 1-800-424-5555

Plot Date: 4/4/2023 11:37 AM
 Save Date: 4/4/2023 11:36 AM
 By: John File: P:\KCHA00006062\040423\SV-BASE(SV)45-BS-KCHA6062 - 040423.dwg

(CITY OF BOTHELL) GENERAL PROJECT NOTES:

- ALL DESIGN AND CONSTRUCTION MUST BE IN ACCORDANCE THE CITY OF BOTHELL MUNICIPAL CODE (BMC), THE CITY OF BOTHELL DESIGN AND CONSTRUCTION STANDARDS (BOTHELL STANDARDS), WSDOT STANDARD SPECIFICATIONS AND THE CONDITIONS OF PERMIT APPROVAL. IT IS THE SOLE RESPONSIBILITY OF THE DEVELOPER AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS WILL BE AT NO ADDITIONAL COST OR LIABILITY TO CITY OF BOTHELL.
- THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO BOTHELL STANDARDS REQUIREMENTS. SOME ELEMENTS MAY HAVE BEEN OVERLOOKED OR MISSED BY THE PLAN REVIEWER. ANY VARIANCE FROM ADOPTED STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF BOTHELL PRIOR TO CONSTRUCTION.
- A COPY OF THE APPROVED PLANS, INCLUDING ALL REQUIRED CITY NOTES AND STAMPS, MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- CONSTRUCTION NOISE IS LIMITED IN ACCORDANCE WITH BMC 8.26.; NORMALLY THIS IS 7:00 AM TO 8:00 PM, MONDAY THROUGH FRIDAY AND 9:00 AM THROUGH 6:00 PM ON SATURDAY WITH NO WORK ON SUNDAY OR CITY-OBSERVED HOLIDAYS UNLESS AS OTHERWISE APPROVED OR REQUIRED.
- CITY OF BOTHELL DATUM MUST BE USED FOR ALL SURVEY CONTROL AND ELEVATION INFORMATION (NAVD 1988, NAD 83).
- IT IS THE DEVELOPER /CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL CONSTRUCTION EASEMENTS NECESSARY BEFORE INITIATING OFF-SITE WORK. EASEMENTS REQUIRE REVIEW AND APPROVAL PRIOR TO CONSTRUCTION AND MUST BE INCLUDED ON THE APPROVED PLANS.
- FRANCHISED UTILITIES OR OTHER INSTALLATIONS THAT ARE NOT SHOWN ON THESE APPROVED PLANS MAY NOT BE CONSTRUCTED UNLESS AN APPROVED SET OF PLANS THAT MEET ALL REQUIREMENTS FOR A RIGHT-OF-WAY INVASION PERMIT APPROVED BY THE CITY.
- PRIVATE OR FRANCHISE UTILITIES MUST HAVE AT LEAST 5 FEET HORIZONTAL CLEARANCE FROM ALL CITY WATER SEWER, AND STORMWATER STRUCTURES.
- A MINIMUM FULL-LANE WIDTH, 2-INCH MINIMUM THICKNESS GRIND AND OVERLAY IS REQUIRED FOR ROAD WIDENING OR PAVEMENT CUTS PARALLEL TO ROADWAY. FULL WIDTH, 2-INCH MINIMUM THICKNESS GRIND AND OVERLAY IS REQUIRED WHERE OTHER ROADWAY CUTS AND PATCHES ARE ACROSS THE ROADWAY WIDTH AT THE DIRECTION OF THE PUBLIC WORKS DIRECTOR. TRANSVERSE UTILITY TRENCHES MUST BE RESTORED WITH FULL ROAD WIDTH TRENCH-CUT PATCH A 5-FOOT MINIMUM BEYOND TRENCH EDGE.
- ALL UTILITY TRENCHES AND ROADWAY SUBGRADE MUST BE BACKFILLED AND COMPACTED TO 95 PERCENT MAXIMUM DRY DENSITY. FLOWABLE CONTROLLED DENSITY FILL (CDF) MAY BE USED IF APPROVED BY THE PUBLIC WORKS CONSTRUCTION INSPECTOR (NO DRY CDF IS ALLOWED).
- OPEN CUTTING OF EXISTING ROADWAYS FOR NON-FRANCHISED UTILITY OR STORM WORK IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED AND NOTED ON THESE APPROVED PLANS. ANY OPEN CUT MUST BE RESTORED IN ACCORDANCE WITH BOTHELL STANDARDS.
- SOIL TREATMENT INCLUDING BUT NOT LIMITED TO FLY-ASH AND CEMENT, MAY NOT BE USED AS IN FILL OR TRENCH BACKFILL WITHOUT APPROVAL BY THE PUBLIC WORKS DIRECTOR AND AN APPROVED PLACEMENT, TESTING, AND WATER-QUALITY INSPECTION PROGRAM.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW WILL REQUIRE AN APPROVED TRAFFIC CONTROL PLAN IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND A TRAFFIC CONTROL PLAN APPROVED BY CITY OF BOTHELL.
- CONTRACTOR MUST INSTALL AND MAINTAIN WHATEVER EROSION & SEDIMENTATION CONTROL MEASURES NECESSARY TO INSURE THAT SILT-LADEN WATER DOES NOT LEAVE THE CONSTRUCTION AREA. ANY SUCH FACILITIES INSTALLED MUST BE MAINTAINED IN PROPER OPERATING CONDITION UNTIL ALL DISTURBED AREAS HAVE BEEN REVEGETATED OR OTHERWISE DEVELOPED AND THE POTENTIAL FOR EROSION ELIMINATED.
- CONSTRUCTION TRUCK TRAFFIC MUST BE ROUTED IN ACCORDANCE WITH AN APPROVED HAUL ROUTE AND CONTRACTOR PARKING MUST BE LOCATED ON-SITE UNLESS ALLOWED IN ACCORDANCE WITH AN APPROVED PARKING PLAN.
- LOCATIONS OF EXISTING BURIED UTILITIES ARE SHOWN FOR DESIGN PURPOSES AND MAY NOT BE ACCURATE OR COMPLETE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE, HAVE LOCATED BY THE APPROPRIATE COMPANIES, AND/OR POTHOLE ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CALL UNDERGROUND LOCATE AT 1-800-424-5555 OR 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATIONS.
- SUBMITTAL, REVIEW, AND APPROVAL OF AS-BUILT PLANS IS REQUIRED PRIOR TO ACCEPTANCE OF PLAT IMPROVEMENTS OR OTHER PERMIT FINALIZATION. AS-BUILTS ARE TO CONTAIN CAD, TIF, AND PDF FILES OF ALL PLAN SHEETS.

(CITY OF BOTHELL) TESC NOTES

- THE TEMPORARY EROSION & SEDIMENT CONTROL (TESC) MEASURES SHOWN IN THESE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE TESC MEASURES MUST BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL COVER MEASURES, PUMPING AND CONTAINMENT, RELOCATION OF DITCHES AND SILT FENCES, PERIMETER PROTECTION ETC.) AS DIRECTED BY CITY OF BOTHELL.
- THESE FACILITIES MUST BE SATISFACTORILY MAINTAINED UNTIL THE CONSTRUCTION AND LANDSCAPING IS COMPLETED AND THE POTENTIAL FOR ONSITE EROSION HAS PASSED. THE TESC PLANS ARE TO BE CONSIDERED A DYNAMIC MINIMUM GUIDELINE AND AS SUCH WILL MOST LIKELY HAVE TO BE CONTINUALLY EVALUATED AND/OR MODIFIED DEPENDING ON SITE CONDITIONS.
- THE IMPLEMENTATION OF THESE TESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE TESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR AND TESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN MUST BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS WILL BE PERMITTED. THE DEVELOPER AND CONTRACTOR MUST MAINTAIN THE FLAGGING FOR THE DURATION OF CONSTRUCTION.
- STABILIZED CONSTRUCTION ENTRANCES MUST BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACK OUT TO ROAD RIGHT OF WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT.
- THE TESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
- THE TESC FACILITIES MUST BE INSPECTED DAILY BY THE DEVELOPER/TESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS MUST BE KEPT OF WEEKLY REVIEWS OF THE TESC FACILITIES.
- SOILS MUST NOT REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS FROM MAY 1 THROUGH SEPTEMBER 30 AND NOT MORE THAN 48 HOURS FROM OCTOBER 1 AND APRIL 30. EXPOSED AND UNWORKED SOILS MUST BE COVERED BY MULCH, SODDING, PLASTIC COVERING, JUTE-MATTING, OR AS OTHERWISE APPROVED OR REQUIRED BY THE PUBLIC WORKS CONSTRUCTION INSPECTOR.
- THE TESC FACILITIES ON INACTIVE SITES MUST BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH DURING THE DRY SEASON, BI-MONTHLY DURING THE WET SEASON, OR WITHIN 24 HOURS FOLLOWING A STORM EVENT.
- AT NO TIME MAY MORE THAN 6-INCHES OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES MUST BE CLEANED PRIOR TO PAVING AND FINAL APPROVAL. THE CLEANING OPERATION MAY NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN MUST BE MODIFIED WITH THE NECESSARY TESC MEASURES AND MUST PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE ROUGH GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.
- PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS MUST BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS MUST BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. A SKETCH MAP OF THOSE AREAS TO BE SEEDED AND THOSE AREAS TO REMAIN UNCOVERED MUST BE SUBMITTED TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR FOR REVIEW AND APPROVAL.
- DUST GENERATED DURING CONSTRUCTION ACTIVITIES MUST BE CONTROLLED BY WETTING DUST SOURCES SUCH AS AREAS OF EXPOSED SOILS, WASHING TRUCK WHEELS BEFORE THEY LEAVE THE SITE, AND INSTALLING AND MAINTAINING ROCK CONSTRUCTION ENTRANCES. CONTRACTOR MUST MECHANICALLY SWEEP STREETS DAILY WITH VACUUM SWEEPER UNLESS OTHERWISE APPROVED. FLUSHING OF STREETS AND SIDEWALKS WILL NOT BE PERMITTED. A WHEEL-WASH FOR CONSTRUCTION TRAFFIC MUST BE INSTALLED IF REQUIRED BY THE PUBLIC WORKS CONSTRUCTION INSPECTOR. ANY VIOLATIONS OF THE CITY OF BOTHELL MUNICIPAL CODE OR OTHER APPLICABLE REGULATIONS MAY RESULT IN IMPOSING PENALTY FEE.

(CITY OF BOTHELL) STORM DRAINAGE STANDARD NOTES

- ALL DRAINAGE STRUCTURES, SUCH AS CATCH BASINS AND MANHOLES, NOT LOCATED WITHIN A TRAVELED ROADWAY OR SIDEWALK, MUST HAVE SOLID LOCKING LIDS. ALL DRAINAGE STRUCTURES ASSOCIATED WITH A PERMANENT RETENTION/DETENTION FACILITY MUST HAVE SOLID LOCKING LIDS.
- ALL CATCH BASIN GRATES MUST CONFORM TO BOTHELL STANDARD DRAWINGS AND INCLUDE THE STAMPING "OUTFALL TO STREAM, DUMP NO POLLUTANTS" AND "PROPERTY OF CITY OF BOTHELL".
- DEFAULT TO VERTICAL CURB AND GUTTER UNLESS SPECIFIED OTHERWISE ON APPROVED PLANS. SOLID LOCKING LIDS MUST BE USED FOR ALL CATCH BASINS NOT LOCATED WITHIN A GUTTER FLOWLINE AND VANED GRATE STYLE COVERS MUST BE USED WITHIN THE GUTTER FLOWLINE.
- ALL DRIVEWAY CULVERTS LOCATED WITHIN CITY OF BOTHELL RIGHT-OF-WAY MUST BE OF SUFFICIENT LENGTH TO PROVIDE A MINIMUM 3:1 SLOPE FROM THE EDGE OF THE DRIVEWAY TO THE BOTTOM OF THE DITCH. CULVERTS MUST HAVE BEVELED END SECTIONS TO MATCH THE SIDE SLOPE.
- ALL CONVEYANCE PIPE 6-INCHES OR GREATER IN DIAMETER MUST BE ASTM D3034 SDR 35 PVC UNLESS OTHERWISE SHOWN ON THE PLANS AS APPROVED BY THE DIRECTOR OF PUBLIC WORKS.
- APPROVED BEDDING MATERIAL MUST BE 5/8 INCH OF CRUSHED ROCK. IT MUST BE PLACED A MINIMUM OF 6-INCHES UNDER THE PIPE AND TO A DEPTH OF AT LEAST 6-INCHES OVER THE TOP OF THE PIPE. THE BEDDING MATERIALS MUST BE RAMMED AND TAMPED AROUND THE PIPE BY THE USE OF APPROVED HAND-HELD TOOLS SO AS TO PROVIDE FIRM AND UNIFORM SUPPORT OVER THE FULL LENGTH OF ALL PIPE AND JOINTS. EXTRA CARE MUST BE GIVEN TO ENSURE A SMOOTH AND EVEN TRENCH BOTTOM SO THE PIPE IS UNIFORMLY SUPPORTED THROUGHOUT ITS LENGTH. BACKFILL MATERIAL MUST ACHIEVE COMPACTION TO 95% MDD WITHIN THE TRENCH AND FILL AREA.
- STORM DRAIN CROSSINGS AT EXISTING UTILITIES MUST BE INSTALLED TO MAINTAIN 3 FEET MINIMUM COVER AND A MINIMUM OF 1.5 FEET ABOVE OR BELOW THE STORM DRAIN MEASURED AT THE TWO CLOSEST EDGES OF THE PIPES, UNLESS OTHERWISE APPROVED BY THE PUBLIC WORKS DIRECTOR.
- DRAINAGE OUTLETS (STUB-OUTS) MUST BE PROVIDED FOR EACH INDIVIDUAL LOT. STUB-OUTS MUST CONFORM TO THE FOLLOWING:
 - EACH OUTLET MUST BE SUITABLY LOCATED AT THE LOWEST ELEVATION ON THE LOT, SO AS TO SERVICE ALL FUTURE ROOF DOWNSPOUTS AND FOOTING DRAINS, DRIVEWAYS, YARD DRAINS, AND ANY OTHER SURFACE OR SUBSURFACE DRAINS NECESSARY TO RENDER THE LOTS SUITABLE FOR THEIR INTENDED USE. EACH OUTLET MUST HAVE FREE-FLOWING, POSITIVE DRAINAGE TO AN APPROVED STORMWATER CONVEYANCE SYSTEM OR TO AN APPROVED OUTFALL LOCATION.
 - ENDS OF EACH STORM DRAIN STUB AT THE PROPERTY LINE MUST BE CAPPED AND LOCATED WITH A 2 INCH X 4 INCH BOARD MARKED PLAINLY AND PERMANENTLY "STORM" WITH DEPTH TO PIPE IN FEET AND INCHES, STENCILED IN BLACK LETTERS 2-INCH HIGH.
- FOOTING DRAINS MUST BE PLACED AROUND ALL PERIMETER FOOTINGS. THE FOOTING DRAINAGE SYSTEM MUST BE TIED INTO THE ROOF DRAINAGE SYSTEM AT LEAST 3 FEET FROM, AND BELOW THE BOTTOM OF, THE BUILDING FOUNDATION. ALL PERFORATED DRAINAGE PIPE MUST BE RIGID PVC.
- ALL SINGLE SERVICE BUILDING ROOF DRAIN DOWNSPOUTS AND FOOTING DRAINS MUST BE DIRECTLY CONNECTED TO THE MAIN STORM DRAINAGE CONNECTION VIA A MINIMUM 4-INCH DIAMETER PVC PIPE INSTALLED AT A MINIMUM SLOPE OF 2%.
- MULTIPLE SERVICE ROOF AND FOOTING DRAINS MUST BE MIN. 6-INCH DIAMETER ASTM D3034 SDR 35, INSTALLED AT 2% MIN. SLOPE AND MUST INCLUDE CLEANOUTS WHERE INDIVIDUAL SERVICES CONNECT. NO FITTING MUST BE GREATER THAN 45° (I.E., USE TWO 45° BENDS WITH MINIMUM THREE FEET OF SEPARATION INSTEAD OF A 90° BEND).
- CAST-IN-PLACE CONCRETE STORMWATER FACILITIES MUST HAVE BE SMOOTH WITH NO FINS, VOIDS, ROCK POCKETS, OR OTHER IRREGULARITIES WITH APPROVED WATER STOPS AT ALL CONSTRUCTION JOINTS. CONE SNAP TIES ARE REQUIRED FOR FORMWORK AND ARE TO BE REMOVED AND EPOXY SEALED AT ALL INTERIOR AND EXTERIOR WALL SURFACES. NO FLAT TIES ALLOWED.

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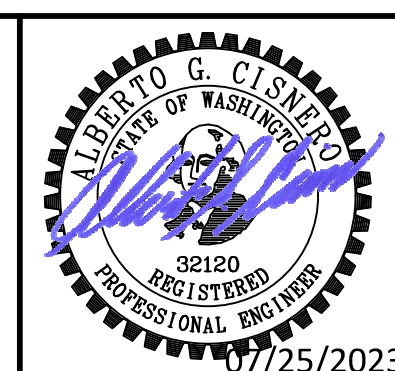
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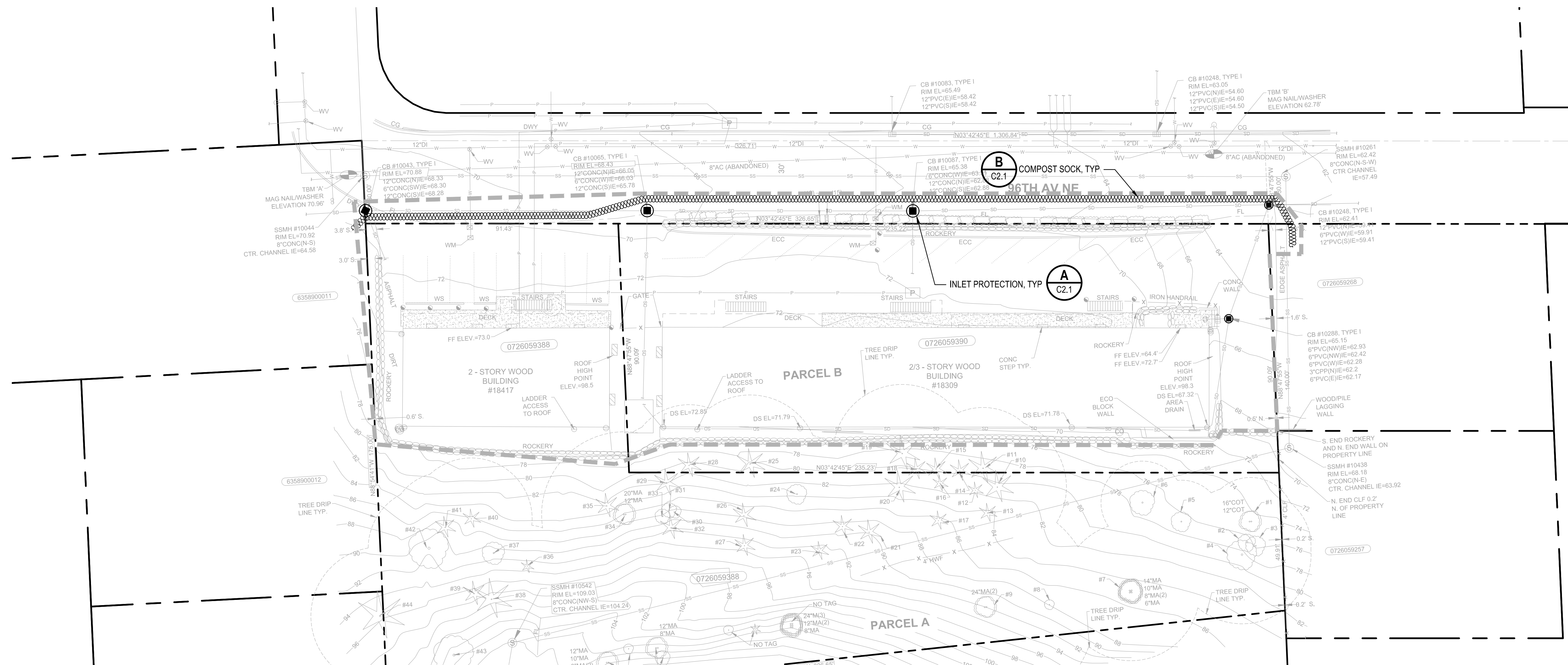
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PARK ROYAL SITE BOTHELL, WASHINGTON		SHEET
NOTES		C1.1



LEGEND

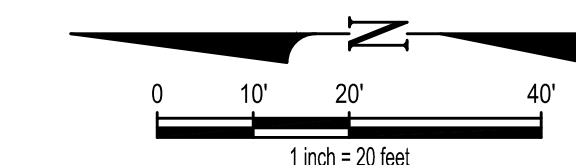
INLET PROTECTION

COMPOST SOCK

LIMITS OF WORK

NOTES

1. REFER TO CITY OF BOTHELL TESC NOTES ON C.1.1
2. THIS PLAN IS INTENDED TO REFLECT THE MINIMUM EROSION AND SEDIMENT CONTROL MEASURES REQUIRED FOR THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR UPGRADING THESE MEASURES TO ACCOMODATE SITE CONDITIONS, STORM EVENTS, AND PREVENT SEDIMENT AND SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE.
3. CONTRACTOR SHALL COORDINATE ALL CLOSURES AND ENCROACHMENTS INTO CITY OF BOTHELL RIGHT-OF-WAY WITH THE CITY INSPECTOR AND/OR PREPARE AND PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN TO THE CITY OF BOTHELL PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL IN A TIMELY MANNER TO NOT AFFECT THE PROJECT SCHEDULE.



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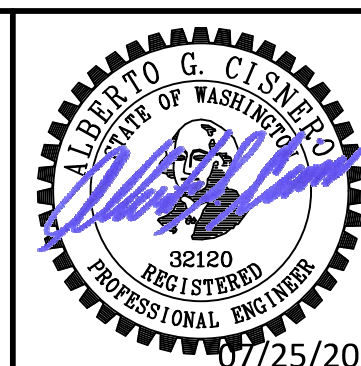
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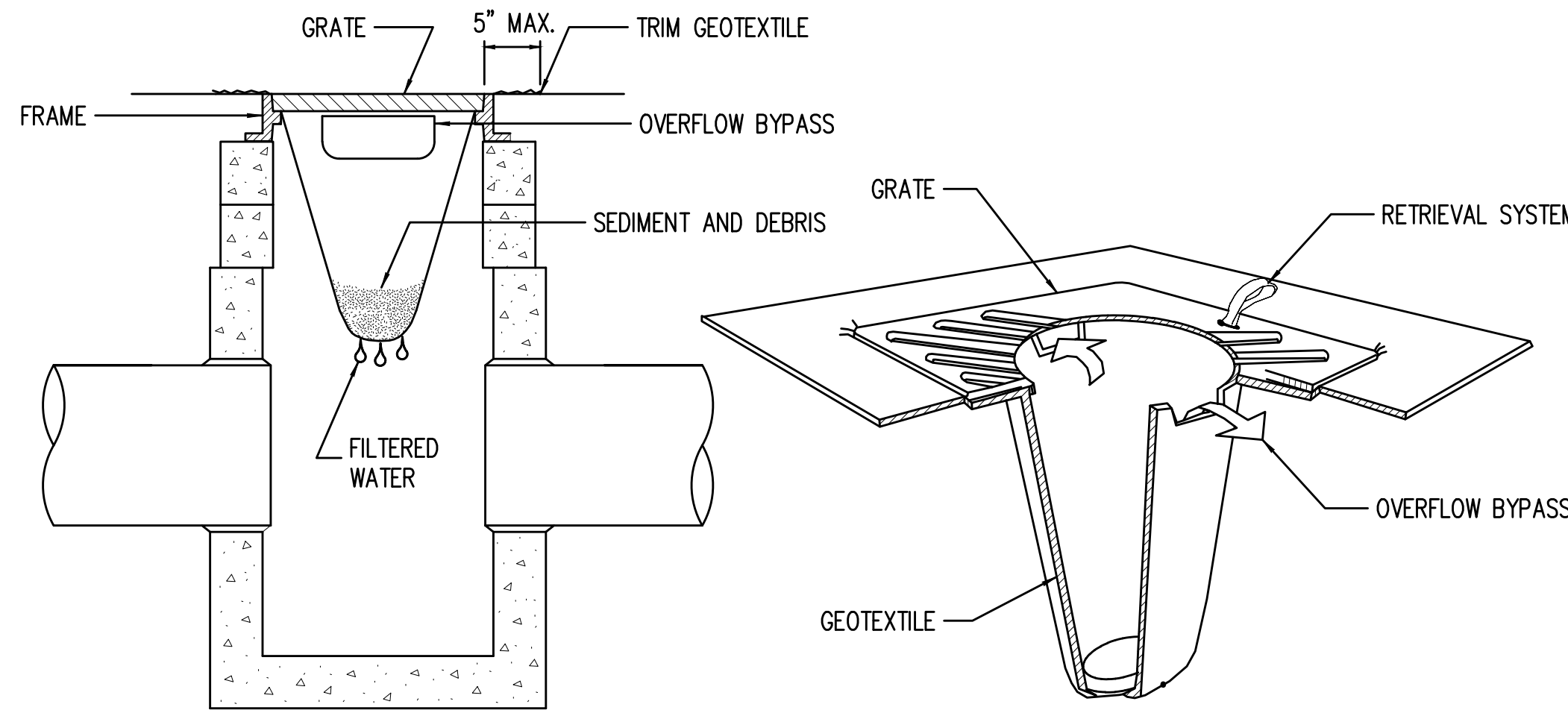


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BOTHELL, WASHINGTON

TESC PLAN

SHEET

C2.0



CROSS SECTION
NOT TO SCALE

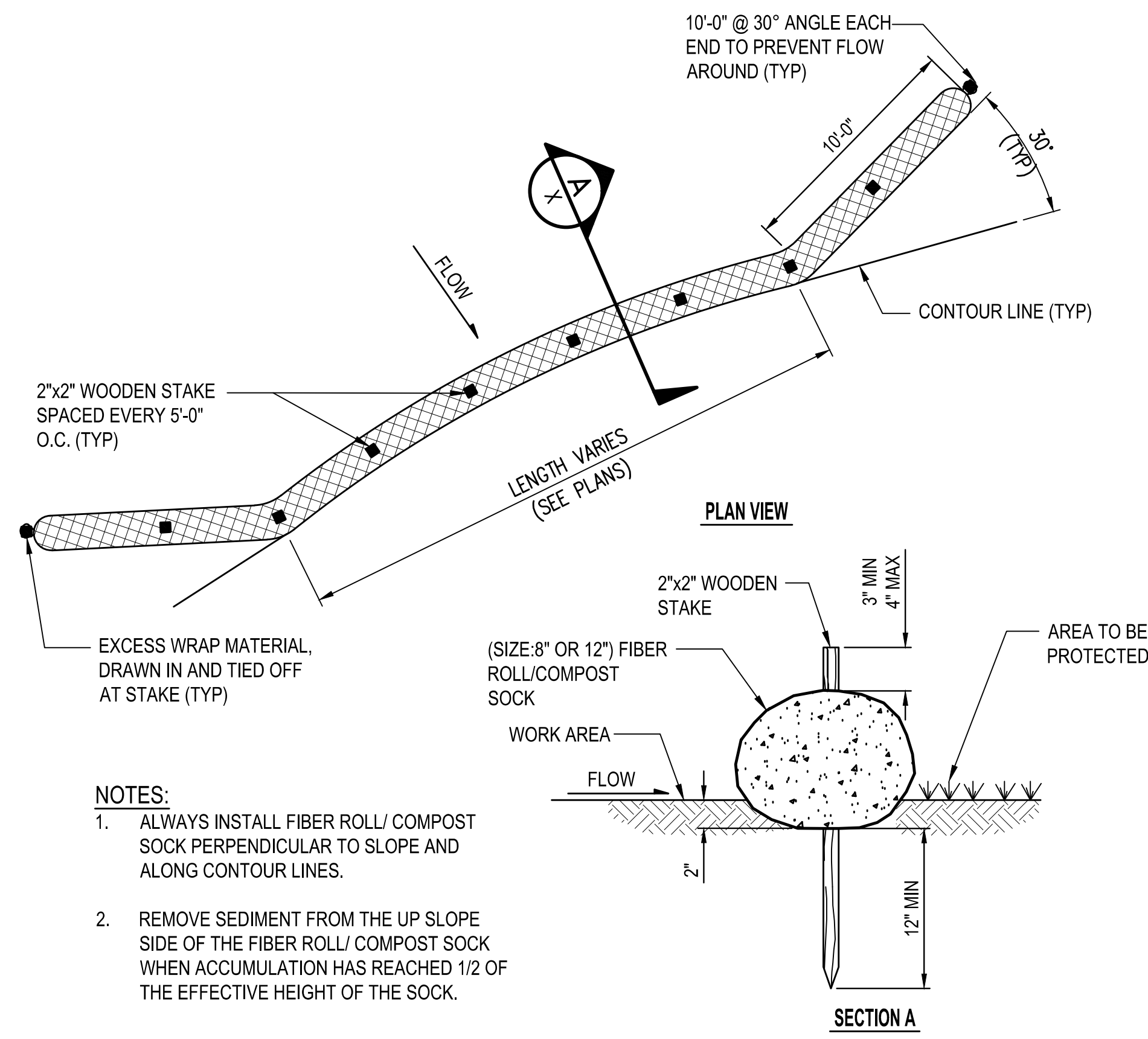
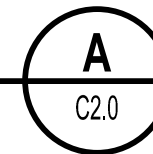
ISOMETRIC VIEW
NOT TO SCALE

NOTES:

1. REMOVE INLET PROTECTION AT THE END OF THE JOB.
2. INLET PROTECTION IS TO BE SIZED AND INSTALLED IN DRAINAGE DEVICES PER THE MANUFACTURER'S RECOMMENDATIONS. CATCH BASIN INSERTS ARE NOT TO BE INSTALLED IN CURB INLETS.
3. INSERTS SHALL BE INSPECTED AND MAINTAINED WHEN A 1/2 INCH RAIN ACCUMULATES WITHIN A 24 HOUR PERIOD. CLEAN AND/OR REPLACE INSERT WHEN HALF OF THE TRAP IS FILLED WITH SEDIMENTS.

INLET PROTECTION DETAIL

NTS

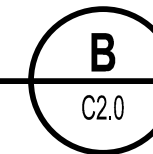


NOTES:

1. ALWAYS INSTALL FIBER ROLL/ COMPOST SOCK PERPENDICULAR TO SLOPE AND ALONG CONTOUR LINES.
2. REMOVE SEDIMENT FROM THE UP SLOPE SIDE OF THE FIBER ROLL/ COMPOST SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SOCK.

COMPOST SOCK

NTS



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PARK ROYAL SITE
BOTHELL, WASHINGTON

TESC DETAILS

SHEET

C2.1

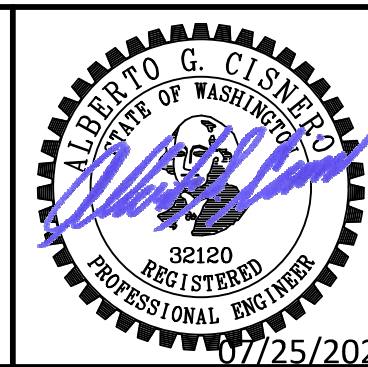
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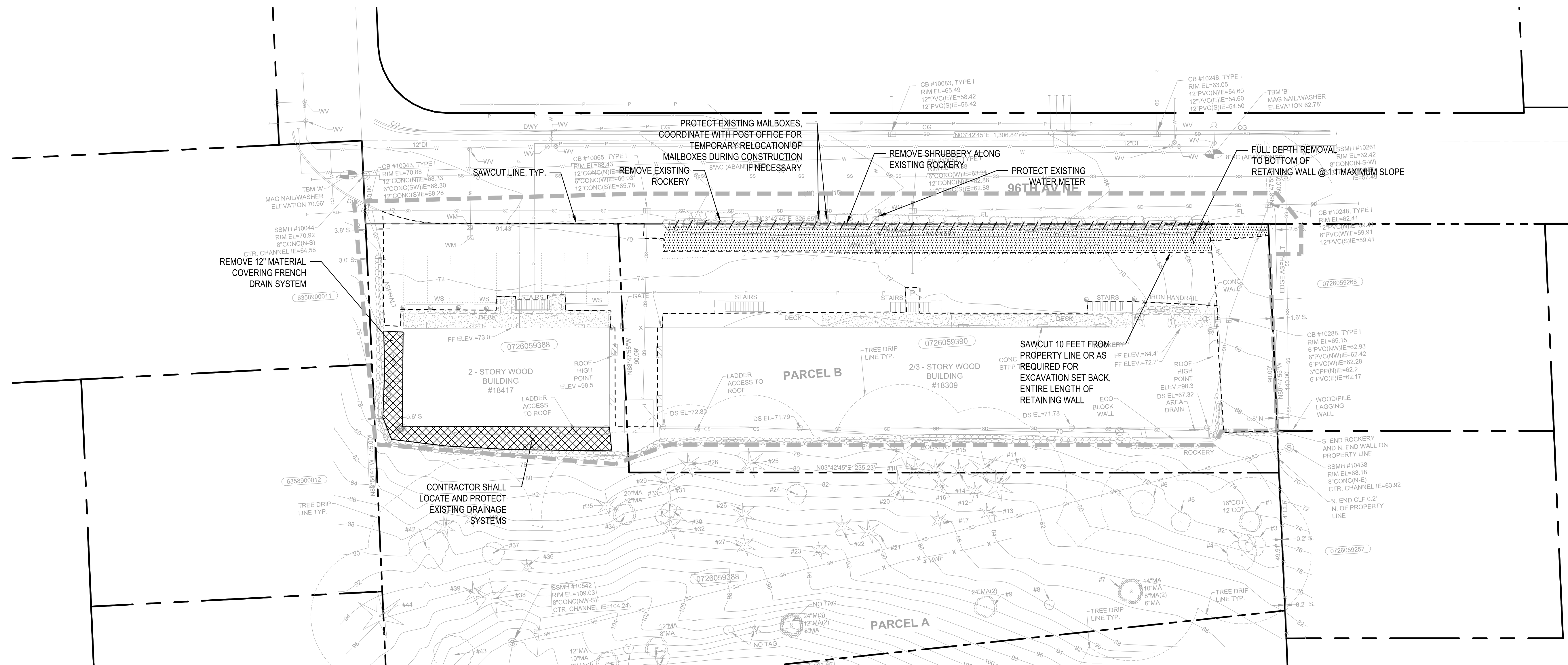
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CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITY STRUCTURES AND PIPES THROUGHOUT CONSTRUCTION. ALL ITEMS MAY NOT BE SHOWN ON THE SURVEY. CONTRACTOR IS RESPONSIBLE FOR POTHOLING AND LOCATING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION WORK. CONTRACTOR TO NOTIFY THE ENGINEER OF ANY CONFLICTS WITH PROPOSED IMPROVEMENTS.

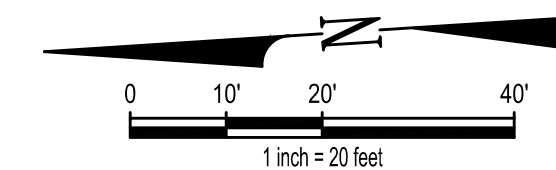
CONTRACTOR TO NOTE EXISTING TYPE OF LANDSCAPING IN THE RIGHT-OF-WAY FOR REPLACEMENT AT END OF PROJECT AS NOTED IN SHEET C6.0.

LEGEND

- REMOVE EXISTING ROCKERY
- REMOVE EXISTING MATERIAL
- FULL DEPTH REMOVAL
- SAWCUT LINE
- LIMITS OF WORK

NOTES

1. ALL EXISTING STRUCTURES, VEGETATION, SURFACE IMPROVEMENTS, AND UNDERGROUND STRUCTURES/UTILITIES WITHIN THE DEMOLITION LIMITS SHALL BE PROTECTED UNLESS NOTED OTHERWISE.
2. DEMOLITION SHALL BE IN CONFORMANCE WITH APPLICABLE REGULATION, CODES, AND DEMOLITION PERMIT REQUIREMENTS.
3. CONTRACTOR SHALL PROVIDE TRAFFIC AND PEDESTRIAN REROUTES AS NECESSARY TO COMPLETE THE WORK, AND OBTAIN APPROVAL FROM THE CITY PRIOR TO BEGINNING WORK. MAINTAIN PEDESTRIAN AND VEHICULAR ACCESS FOR ADJACENT PROPERTIES THROUGHOUT CONSTRUCTION.
4. PROTECT AND MAINTAIN UNINTERRUPTED UTILITY SERVICE TO EXISTING NEIGHBORING BUILDINGS DURING DEMOLITION AND CONSTRUCTION.
5. ALL DISTURBED PAVEMENT IN THE PUBLIC RIGHT OF WAY SHALL BE REPLACED PER CITY OF BOTHELL STANDARD DETAIL 310.
6. ANY DAMAGE RESULTING FROM PROJECT ACTIVITIES TO EXISTING IMPROVEMENTS OR VEGETATION OUTSIDE OF WORK INDICATED ON PLAN SHALL BE REPAIRED/REPLACED IN KIND AT CONTRACTOR'S EXPENSE. CONTRACTOR SHALL CONSIDER DOCUMENTING EXISTING IMPROVEMENTS PRIOR TO BEGINNING CONSTRUCTION.
7. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS TO EXECUTE DEMOLITION, INCLUDING PERMIT TO USE PUBLIC WATER SUPPLY IF NEEDED FOR CONSTRUCTION.



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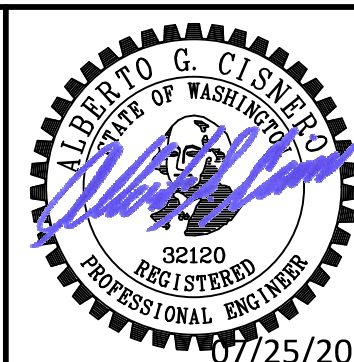
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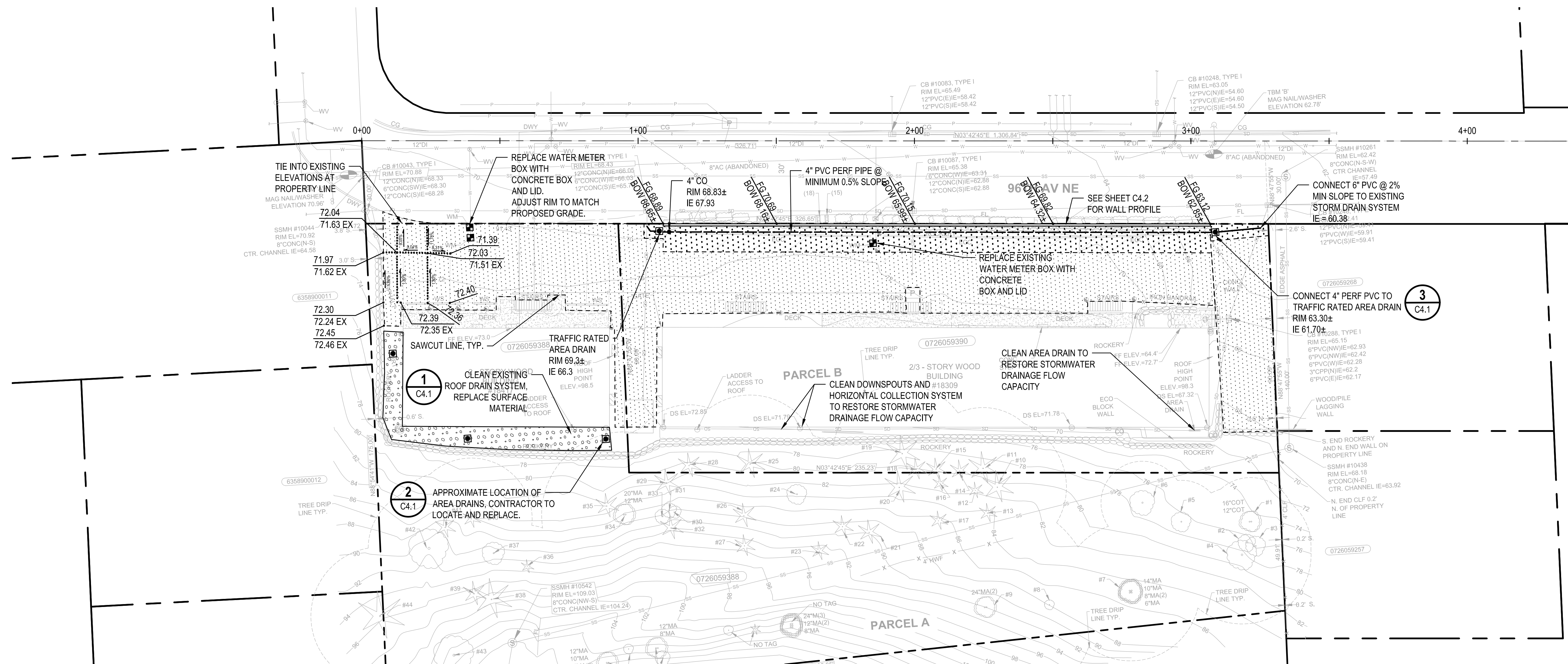


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DEMOLITION PLAN

SHEET

C3.0



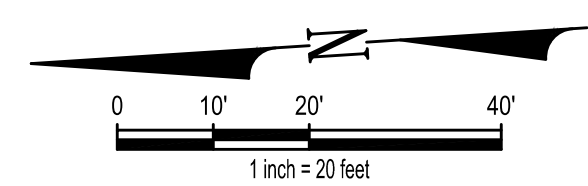
NOTES

1. CONTRACTOR SHALL POTHOLE AND EXPLORE LOCATION OF UTILITIES THAT MAY BE IN CONFLICT WITH RETAINING WALL CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS THAT MAY NEED RESOLUTION BEFORE BEGINNING CONSTRUCTION.
2. THICKEN OVERLAY AS REQUIRED TO MEET FINISH ELEVATIONS SHOWN FOR THE VAN ACCESSIBLE STALL.
3. ALL GRIND AND OVERLAY SHALL MATCH EXISTING GRADES UNLESS NOTED OTHERWISE.
4. ALL FULL DEPTH PAVEMENT REPAIR TO MATCH EXISTING GRADES.
5. TIE WALL DRAIN INTO EXISTING STORMDRAIN INSIDE OF PROPERTY LINE.
6. CLEAN ALL SURFACE DRAINS AND DOWN SPOUTS AND ENSURE SYSTEMS ARE WORKING PROPERLY.
7. BOTTOM OF WALL (BOW) ELEVATIONS ARE NOTED WHERE THE FACE OF BLOCK WALL MEETS THE EXISTING ROAD SURFACE. FINISH GRADE (FG) ELEVATIONS ARE WHERE THE ASPHALT PAVING MEETS THE CONCRETE WALL. REFER TO THE GEOTECHNICAL LETTER DATED MAY 10, 2023 FOR THE EMBEDMENT REQUIREMENTS OF THE BLOCK WALL. REFER TO C4.2 AND S4.01 FOR THE WALL PROFILE AND DETAILS FOR WALL COVERAGES, WALL HEIGHT ABOVE THE PAVEMENT SURFACE, AND HANDRAIL REQUIREMENTS.
8. PROTECT ALL EXISTING UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR REPLACING ALL DAMAGED UTILITIES.
9. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH WATER PROVIDER WITH AT MINIMUM 1 WEEK ADVANCE NOTICE FOR ANY SERVICE DISRUPTION TO THE WATER METER, INCLUDING ANY MODIFICATIONS TO THE SYSTEM TO ACCOMMODATE THE NEW WALL AND IMPROVEMENTS. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS AND INSPECTION FEES ASSOCIATED WITH THE WATER METER MODIFICATIONS.

LEGEND

- AREA DRAIN
- 4" PVC PERF PIPE
- 6" STORM PIPE
- RETAINING WALL
- TRAFFIC RATED WATER METER STRUCTURE
- ASPHALT GRIND AND OVERLAY
- FULL DEPTH ASPHALT PAVING

FOR PERMITTING ONLY:
Total Estimated Cut/Fill: 471 CY
Total Replaced Impervious: 1,989 SF



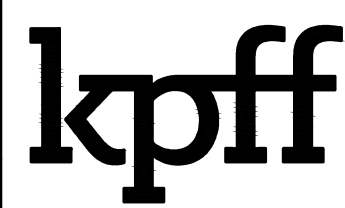
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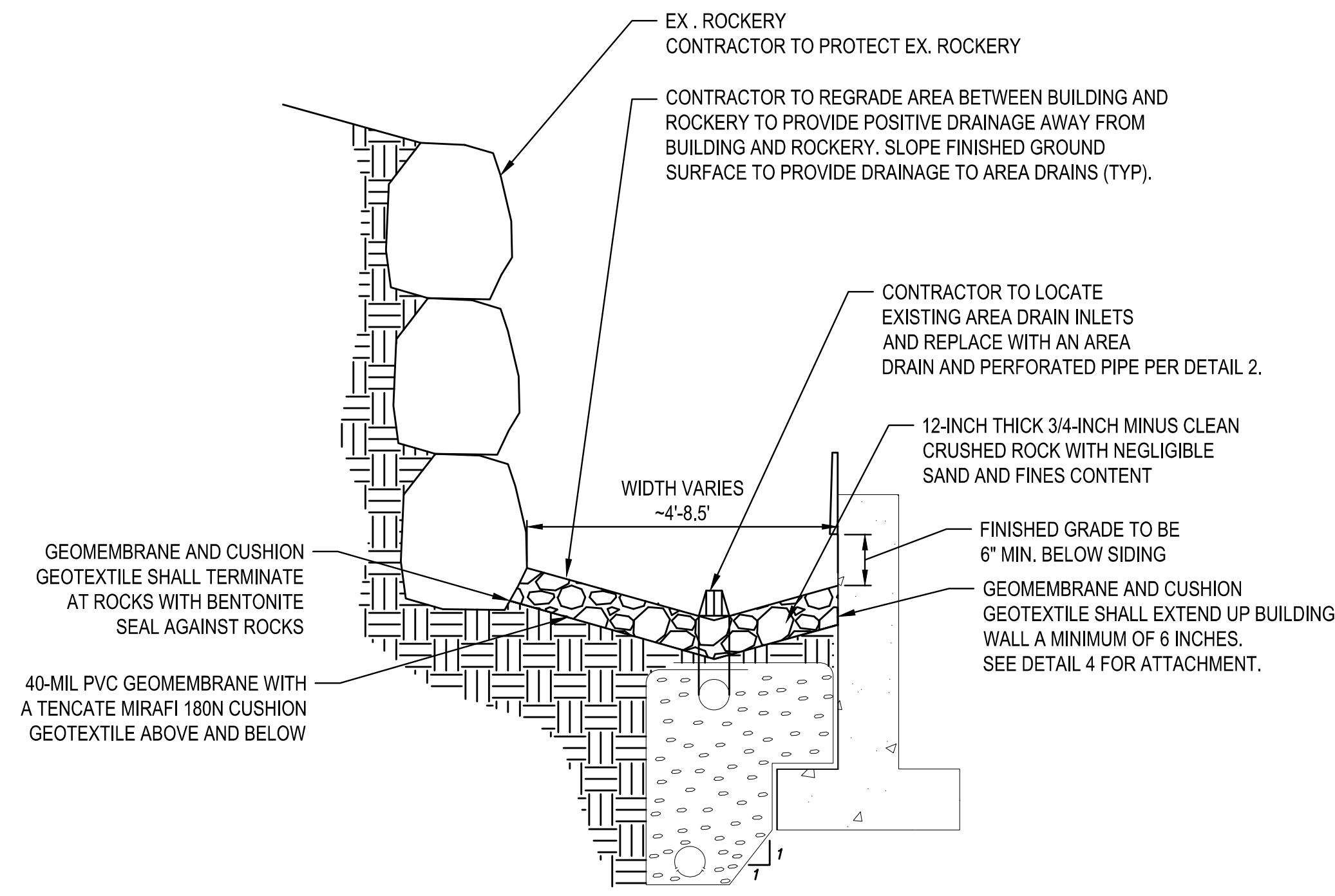
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GRADING AND DRAINAGE PLAN

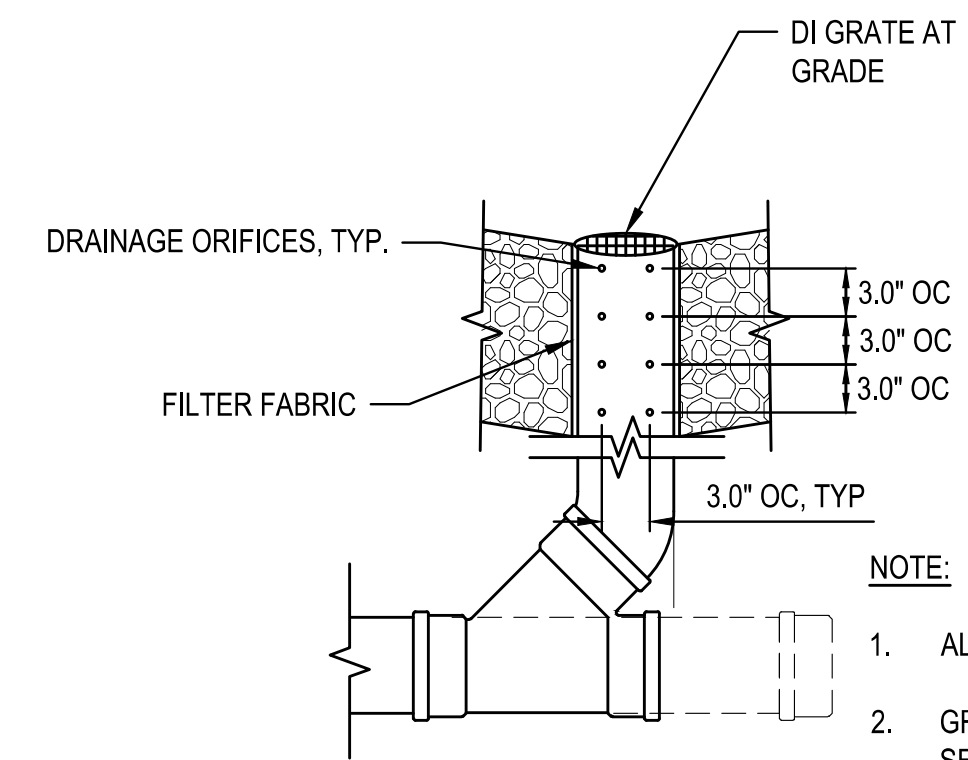
SHEET
C4.0



TYPICAL TRENCH SECTION

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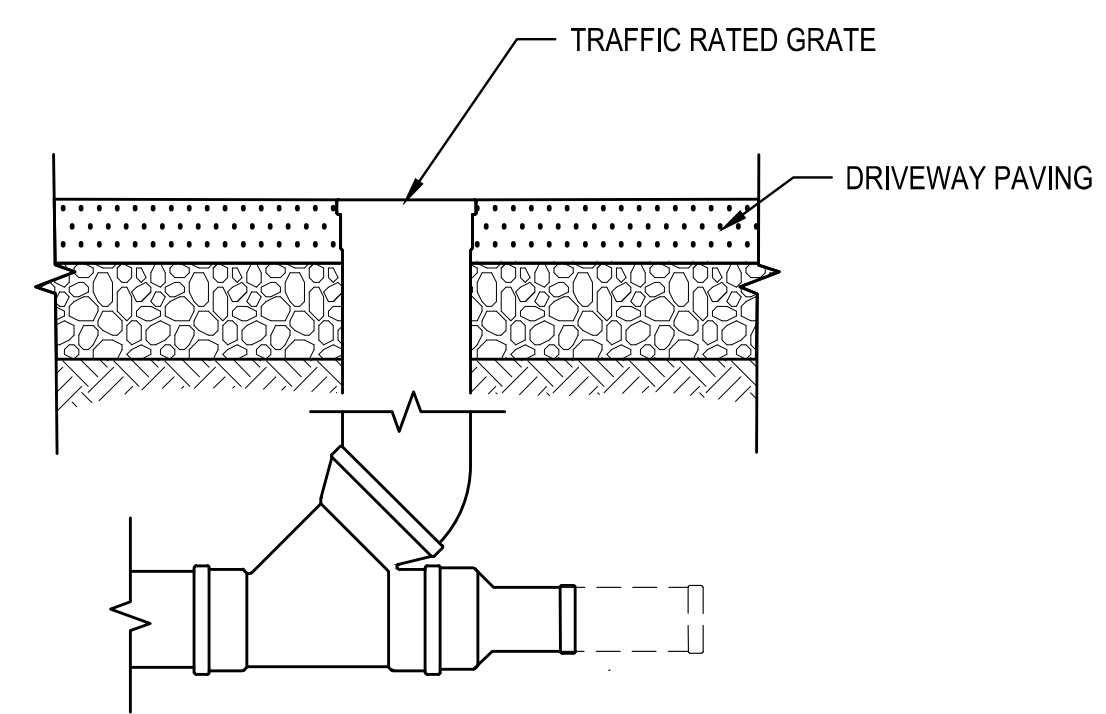
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AREA DRAIN

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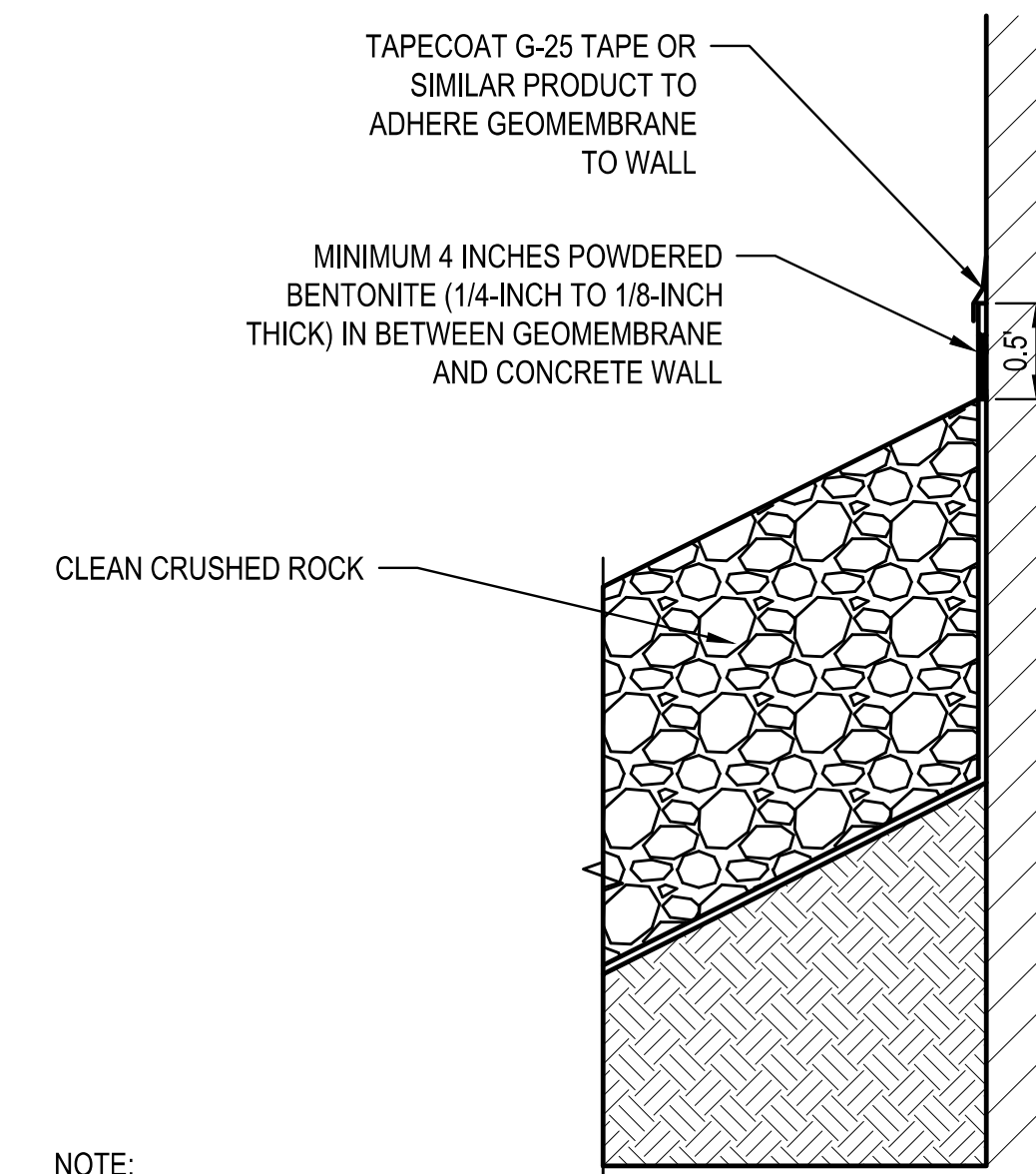
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C4.1



TRAFFIC RATED AREA DRAIN

NTS

3
C4.1



GEOMEMBRANE WALL ATTACHMENT

NTS

4
-

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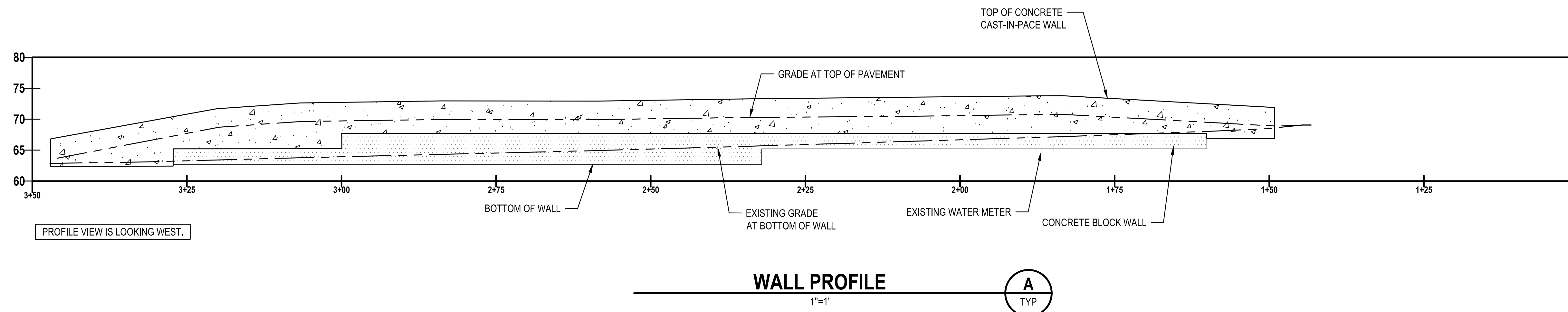
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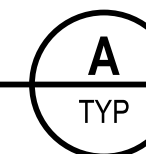
GRADING AND DRAINAGE DETAILS

SHEET
C4.1



WALL PROFILE

1"=1'



LEGEND

- CONCRETE CAST IN PLACE WALL
- CONCRETE BLOCK WALL

NOTES

1. HYBRID WALL TO BE CONSTRUCTED WITH CONCRETE BLOCK AND CONCRETE CAST IN PLACE MATERIALS.
2. CONCRETE BLOCK WALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS.
3. CONCRETE CAST IN PLACE WALL TO BE CONSTRUCTED IN ACCORDANCE WITH STRUCTURAL SHEET S4.01.
4. AREAS NOTED IN THE PROFILE FOR CONCRETE CAST-IN-PLACE WALL AND CONCRETE BLOCK WALL IS ONLY A GENERAL REPRESENTATION OF DIFFERENT WALL COVERAGES. CONTRACTOR SHALL PREPARE HIS/HER OWN WALL COVERAGE TO ENSURE GEOTECHNICAL RECOMMENDATIONS AND STRUCTURAL WALL DETAILS ARE INCLUDED AND FOLLOWED.
5. WALL FACE TO BE ALIGNED WITH PROPERTY LINE.

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PARK ROYAL SITE BOTHELL, WASHINGTON	SHEET
WALL PROFILE	C4.2

GENERAL NOTES

SUBMITTALS
SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO ANY FABRICATION OR CONSTRUCTION FOR ALL STRUCTURAL ITEMS, INCLUDING THE FOLLOWING: CONCRETE OR MASONRY REINFORCEMENT, PRECAST OR PRESTRESSED CONCRETE ITEMS, EMBEDDED STEEL ITEMS, STRUCTURAL STEEL, STEEL JOISTS, STEEL DECK, SHEAR STUD LAYOUT, METAL GRATING, GLUED-LAMINATED MEMBERS, CLADDING PANELS AND STAIRS.

IF THE SHOP DRAWINGS DIFFER FROM OR ADD TO THE DESIGN OF THE STRUCTURAL DRAWINGS, THEY SHALL BEAR THE SEAL AND SIGNATURE OF THE WASHINGTON STATE REGISTERED PROFESSIONAL ENGINEER WHO IS RESPONSIBLE FOR THE DESIGN.

INSPECTION
SPECIAL INSPECTION PER IBC CHAPTER 17 SHALL BE PERFORMED BY AN APPROVED TESTING AGENCY. ALL PREPARED SOIL-BEARING SURFACES SHALL BE INSPECTED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF ULTRABLOCK WALL OR REINFORCING STEEL. SOIL COMPACTION SHALL BE SUPERVISED BY AN APPROVED TESTING AGENCY OR GEOTECHNICAL ENGINEER.

SPECIAL CONDITIONS
CONTRACTOR SHALL VERIFY ALL LEVELS, DIMENSIONS, AND EXISTING CONDITIONS IN THE FIELD BEFORE PROCEEDING.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING OF ALL STRUCTURAL MEMBERS, EXISTING CONSTRUCTION AND SOIL EXCAVATIONS, AS REQUIRED, AND IN A MANNER SUITABLE TO THE WORK SEQUENCE. TEMPORARY SHORING AND BRACING SHALL NOT BE REMOVED UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE DRAWINGS AND MATERIALS HAVE ACHIEVED DESIGN STRENGTH.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK.

SOILS
SEE THE GEOTECHNICAL RECOMMENDATIONS BY GEOENGINEERS, DATED 5/10/2023, FOR MORE COMPLETE INFORMATION. EARTHWORK MATERIAL, BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL RECOMMENDATIONS. BACKFILL BEHIND WALLS SHALL NOT BE PLACED BEFORE THE WALLS AND SUPPORTING SLABS ACHIEVE 28 DAY CONCRETE STRENGTH OR THE WALLS ARE TEMPORARILY BRACED. ALL TOPSOIL ORGANICS AND LOOSE SURFACE SOIL SHALL BE REMOVED FROM BENEATH FILL SUPPORTING CONCRETE SLABS OR PAVING.

CONCRETE

CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF IBC CHAPTER 19.

CONCRETE MIXTURES
CONCRETE MIXTURES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

$f_c=4,500$ PSI @ 28 DAYS
MAX AGGREGATE SIZE=1"
MAX W/C RATIO=0.45
EXPOSURE CLASSES= F2, S0, W0, C0

CONCRETE MIXTURES SHALL CONFORM TO THE MOST STRINGENT REQUIREMENTS FOR EXPOSURE CLASSES SPECIFIED IN THE TABLE ABOVE AND ACI 318 TABLE 19.3.2.1.

WATER-REDUCING ADMIXTURES MAY BE INCORPORATED IN CONCRETE MIX DESIGNS, BUT SHALL CONFORM TO ASTM C 494, AND BE USED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. CaCl2 OR OTHER WATER-SOLUBLE CHLORIDE ADMIXTURES SHALL NOT BE USED.

WATER/CEMENTITIOUS MATERIALS RATIO SHALL BE MEASURED BY WEIGHT AND SHALL BE BASED ON THE TOTAL CEMENTITIOUS MATERIAL. WATER/CEMENTITIOUS MATERIALS RATIO AND WATER CONTENT SHALL BE DETERMINED BY THE SUPPLIER BASED ON STRENGTH REQUIREMENTS AND SHALL NOT EXCEED THE MAXIMUM WATER/CEMENTITIOUS MATERIAL RATIO AND/OR WATER CONTENT IF SHOWN ABOVE OR IN ACI 318 TABLE 19.3.2.1 FOR THE EXPOSURE CLASSES LISTED.

FIELD-MEASURED SLUMP SHALL CONFORM TO THE SUBMITTED CONCRETE MIX DESIGN. TOLERANCE OF SLUMP SHALL CONFORM TO ASTM C 94.

ALL CONCRETE SUBJECT TO EXPOSURE CLASSES F1, F2 OR F3 SHALL BE AIR ENTRAINED. AIR-ENTRAINING AGENTS SHALL CONFORM TO ASTM C 260. THE PERCENTAGE OF TOTAL AIR SHALL BE ACCORDING TO ACI 318 TABLE 19.3.3.1 WITH A FIELD TOLERANCE OF ± 1.5 PERCENT BY VOLUME. THE PERCENTAGE OF TOTAL AIR SHALL BE MEASURED IN THE FIELD AT THE DISCHARGE FROM THE TRUCK.

THE CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGNS OR A SDCI CONTINUOUSLY APPROVED CONCRETE MIX FOR APPROVAL 2 WEEKS PRIOR TO PLACING ANY CONCRETE. THE MIX DESIGN SHALL BE IN CONFORMANCE WITH ACI 318, CHAPTER 19. CONTINUOUS APPROVED MIXTURES SHALL CONFORM TO SDCI DIRECTOR'S RULE 13-2014. THE SUBMITTAL SHALL INDICATE WHERE EACH CONCRETE MIX IS TO BE USED ON THE PROJECT, AS WELL AS THE MAXIMUM AGGREGATE SIZE OF EACH MIX.

CURING
IF THE AIR TEMPERATURE WILL EXCEED 75 DEGREES F WITHIN 48 HOURS OF PLACING CONCRETE, A MOIST CURE SHALL BE APPLIED TO THE CONCRETE FOR A PERIOD OF 36 HOURS AFTER FINISHING CONCRETE SURFACES. REFER TO THE PROJECT SPECIFICATIONS FOR CURING REQUIREMENTS.

REINFORCING STEEL
DEFORMED BARS ASTM A 615, GRADE 60

REINFORCING SHALL BE SUPPORTED AS SPECIFIED BY THE CRSI MANUAL OF STANDARD PRACTICE. REINFORCING STEEL SHALL BE DETAILED IN ACCORDANCE WITH ACI STANDARD OF PRACTICE AS OUTLINED IN ACI 315, "GUIDE TO PRESENTING REINFORCING STEEL DESIGN DETAILS".

LAP ALL REINFORCING BARS AS NOTED ON THE DRAWINGS. WHERE SPLICE LENGTH IS NOT SHOWN, PROVIDE A 2'-0" SPLICE.

ANCHORS

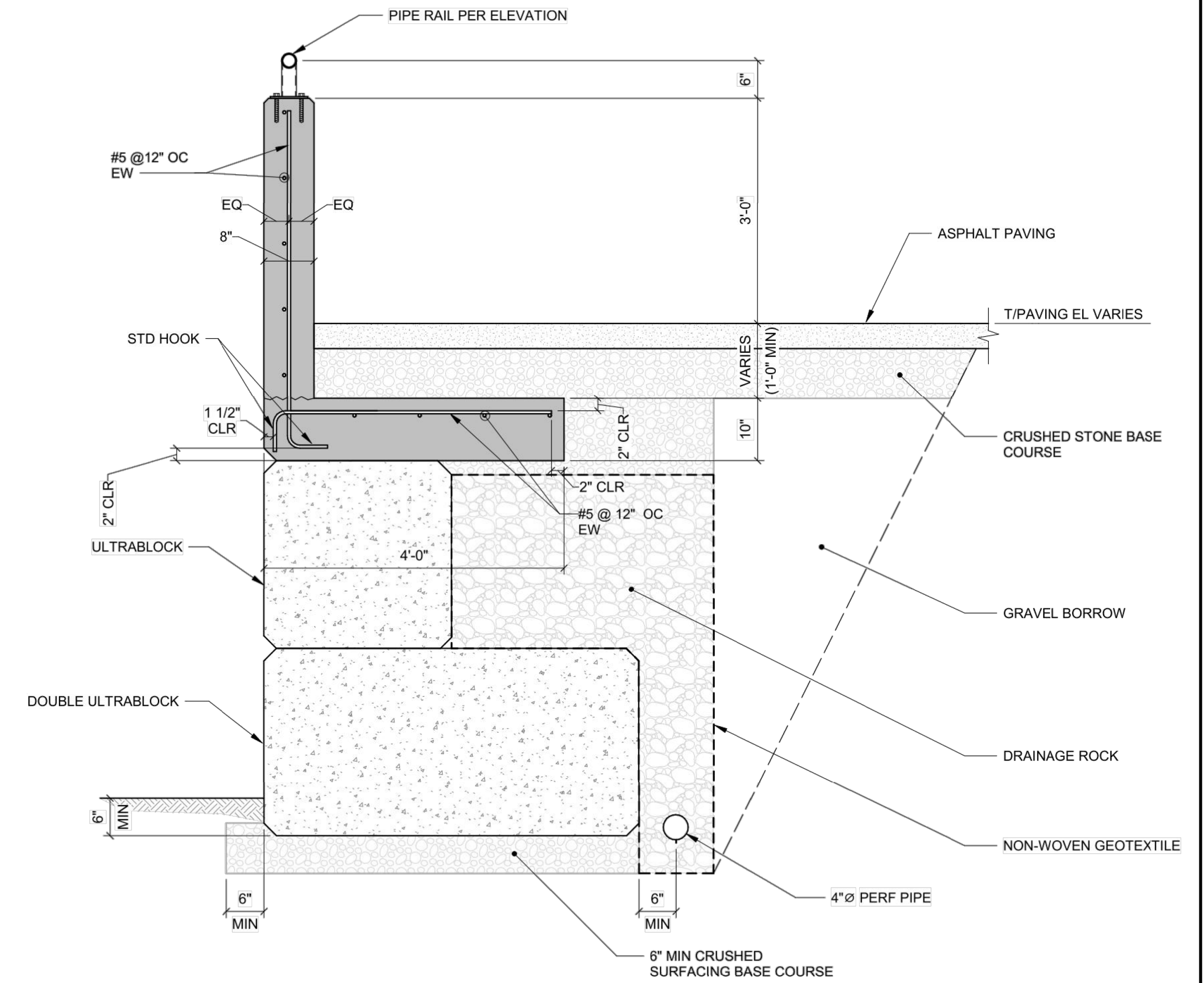
POST-INSTALLED ANCHORS
PROVIDE POST-INSTALLED ANCHORS AS SPECIFIED

ANCHOR EMBEDMENT DEPTHS LISTED SHALL BE CONSIDERED EFFECTIVE EMBEDMENT DEPTHS AS DEFINED IN THE ICC-ES OR IAPMO UES EVALUATION REPORTS. PROVIDE ANCHOR LENGTH AND HOLE PER EVALUATION REPORT TO ACCOMMODATE THE EFFECTIVE EMBEDMENT SPECIFIED IN THESE DRAWINGS.

MECHANICAL AND ADHESIVE ANCHORS SHALL BE ZINC PLATED CARBON STEEL UNLESS NOTED OTHERWISE. MECHANICAL AND ADHESIVE ANCHORS EXPOSED TO WEATHER SHALL BE STAINLESS STEEL.

DO NOT DAMAGE EXISTING REINFORCEMENT. IF LOCATION OF REINFORCEMENT IS UNKNOWN, SCAN FOR EXISTING REINFORCING STEEL PRIOR TO DRILLING.

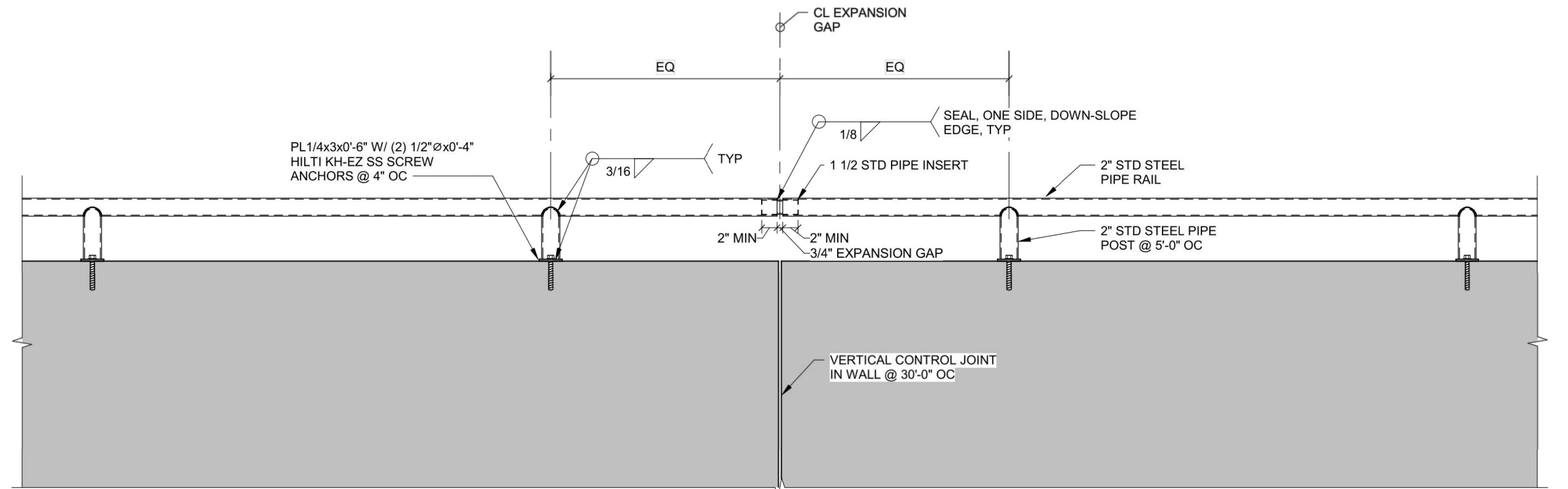
USE OF ALTERNATE PRODUCTS, OR OF POST-INSTALLED ANCHORS AT LOCATIONS NOT SHOWN IN THESE DRAWINGS, IS SUBJECT TO THE APPROVAL OF THE ARCHITECT. SUBMIT PROPOSED ANCHORS TO THE ARCHITECT WITH AN ICC-ES OR IAPMO UES REPORT VALID FOR THE 2018 IBC AND DOCUMENTATION SHOWING THAT THE ALTERNATE PRODUCTS PROVIDE EQUIVALENT CAPACITY FOR ALL CONDITIONS IN THIS PROJECT. DOCUMENTATION OF CAPACITY FOR ALTERNATE PRODUCTS MUST BE INCLUDED AS A DEFERRED SUBMITTAL.



- NOTES:**
- DESIGN OF ULTRABLOCK WALL IS BY THE GEOTECHNICAL ENGINEER. SEE GEOTECHNICAL RECOMMENDATIONS FOR ADDITIONAL INFORMATION.
 - PROVIDE SLIP JOINT IN PIPE RAIL @ 10'-0" OC. LOCATE 1/2 DISTANCE BETWEEN EVERY OTHER POST AND ALIGN WITH VERTICAL CONTROL JOINTS IN WALL.
 - WALL VERTICAL CONTROL JOINTS; WITH 1/2" PREMOLDED JOINT FILLER, SHALL BE SPACED AT 30'-0" OC MAXIMUM. ALIGN WITH JOINTS IN ULTRABLOCK WALL.

2 CANTILEVERED HYBRID WALL DETAIL

3/4" = 1'-0"



- NOTES:**
- RAILING MUST BE HOT DIP GALVANIZED AFTER FABRICATION.
 - ALL POSTS MUST BE PLUMB AND RAILS PARALLEL TO GRADE.
 - PIPE MATERIAL MUST CONFORM TO ASTM A53.
 - PLACE EXPANSION GAP AT EVERY OTHER PANEL (10'-0" MAX SPACING - BETWEEN EVERY OTHER POST). ALIGN WITH VERTICAL CONTROL JOINT WHERE THEY OCCUR.

3 RAIL ELEVATION

1" = 1'-0"

1 NOTES

NO SCALE

BID SET

PARK ROYAL SITE
BOTHELL, WASHINGTON

STRUCTURAL DETAILS

SHEET

S4.01

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CHECKED BY NAS	APPROVED BY NAS
DATE 07/21/2023	
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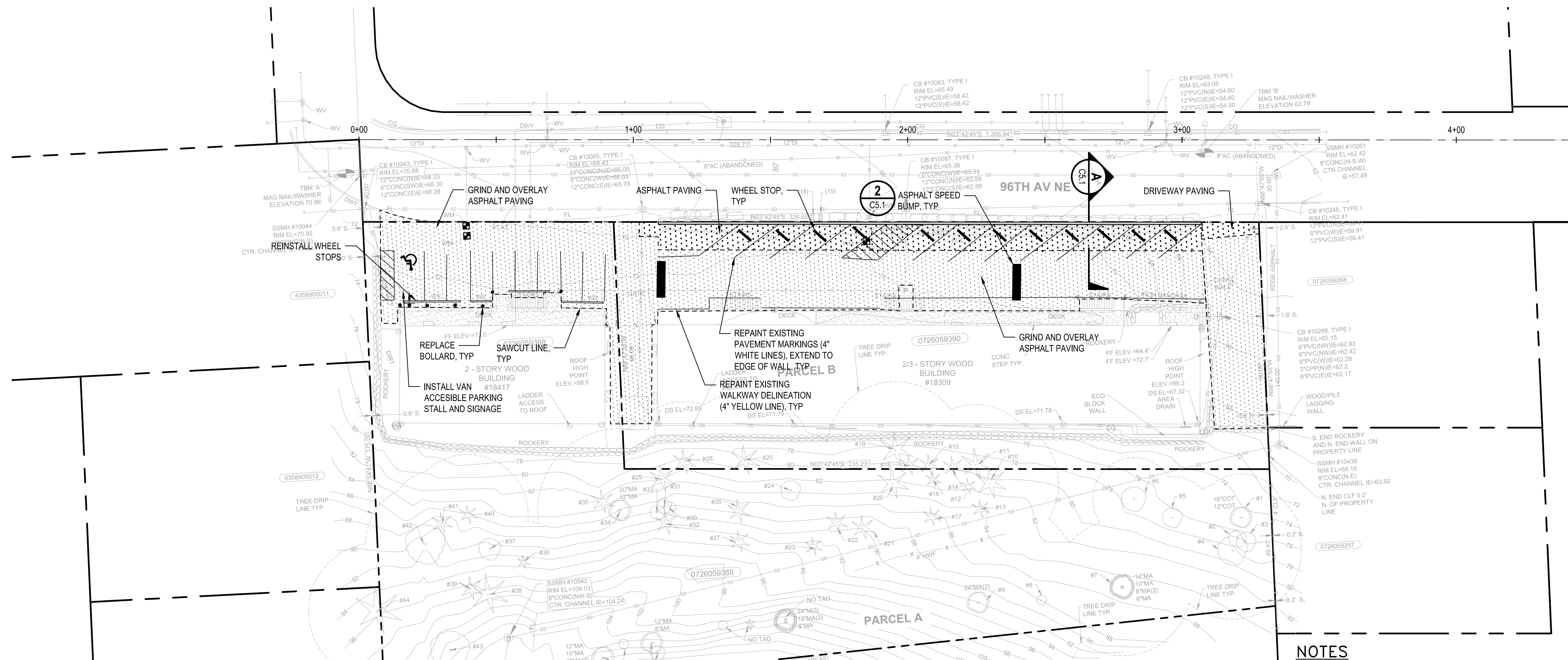
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STRUCTURAL DETAILS



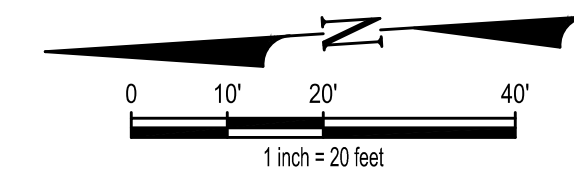
LEGEND

- ASPHALT GRIND AND OVERLAY
- FULL DEPTH ASPHALT PAVING

NOTES

1. GRIND AND OVERLAY ALL PAVEMENT SPECIFIED UNLESS NOTED OTHERWISE.
2. FULL DEPTH ASPHALT REPLACEMENT REQUIRED FROM EDGE OF WALL TO SAWCUT LINE SHOWN ON PLAN
3. REESTABLISH ALL PARKING STALL PAVEMENT MARKINGS AFTER PAVEMENT RESTORATION PER CITY OF BOTHELL STANDARD DETAILS 364 AND 365.
4. REESTABLISH ALL PAVEMENT MARKINGS ONSITE IN KIND AND COLOR.
5. SEE C4.0 FOR PAVEMENT REPAIR GRADING REQUIREMENTS.
6. PAVEMENT MARKINGS AND SIGNAGE FOR THE ACCESSIBLE PARKING STALL SHALL BE INSTALLED PER CITY OF BOTHELL DESIGN AND CONSTRUCTION STANDARD SECTION 3-20.3.
7. NOT ALL SURFACE FEATURES ARE SURVEYED. CONTRACTOR TO VERIFY SITE CONDITIONS AND UPDATE THE LIMITS OF GRIND AND OVERLAY AS REQUIRED.
8. ALL EXISTING SURFACE IMPROVEMENTS, INCLUDING STRUCTURES, BOLLARDS, AND WHEEL STOPS, SHALL BE REINSTALLED OR REPLACED.

BID SET



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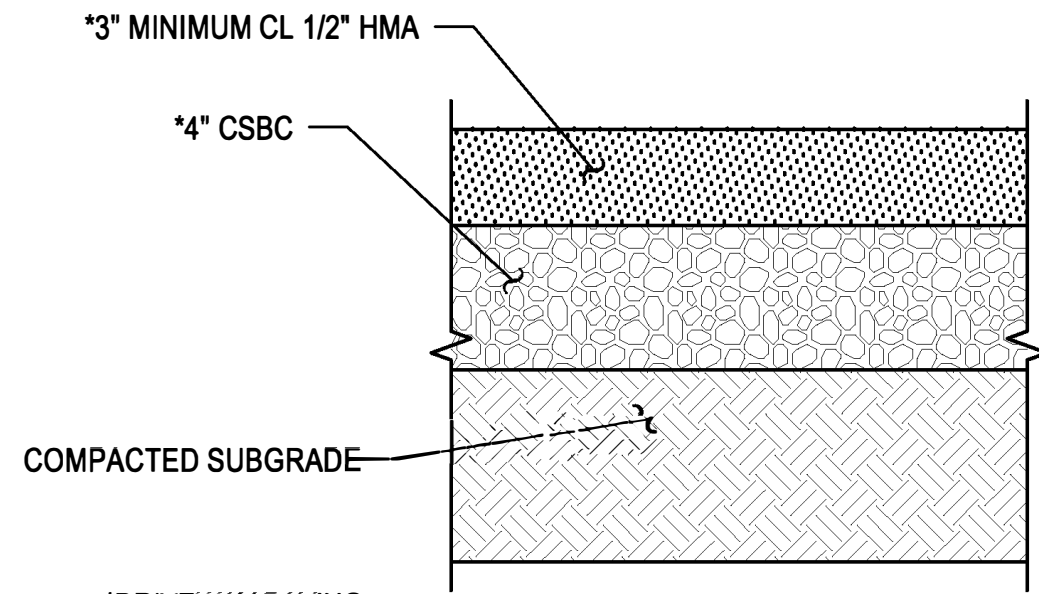
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PARK ROYAL SITE BOTHELL, WASHINGTON		SHEET
PAVING AND CHANNELIZATION PLAN		C5.0

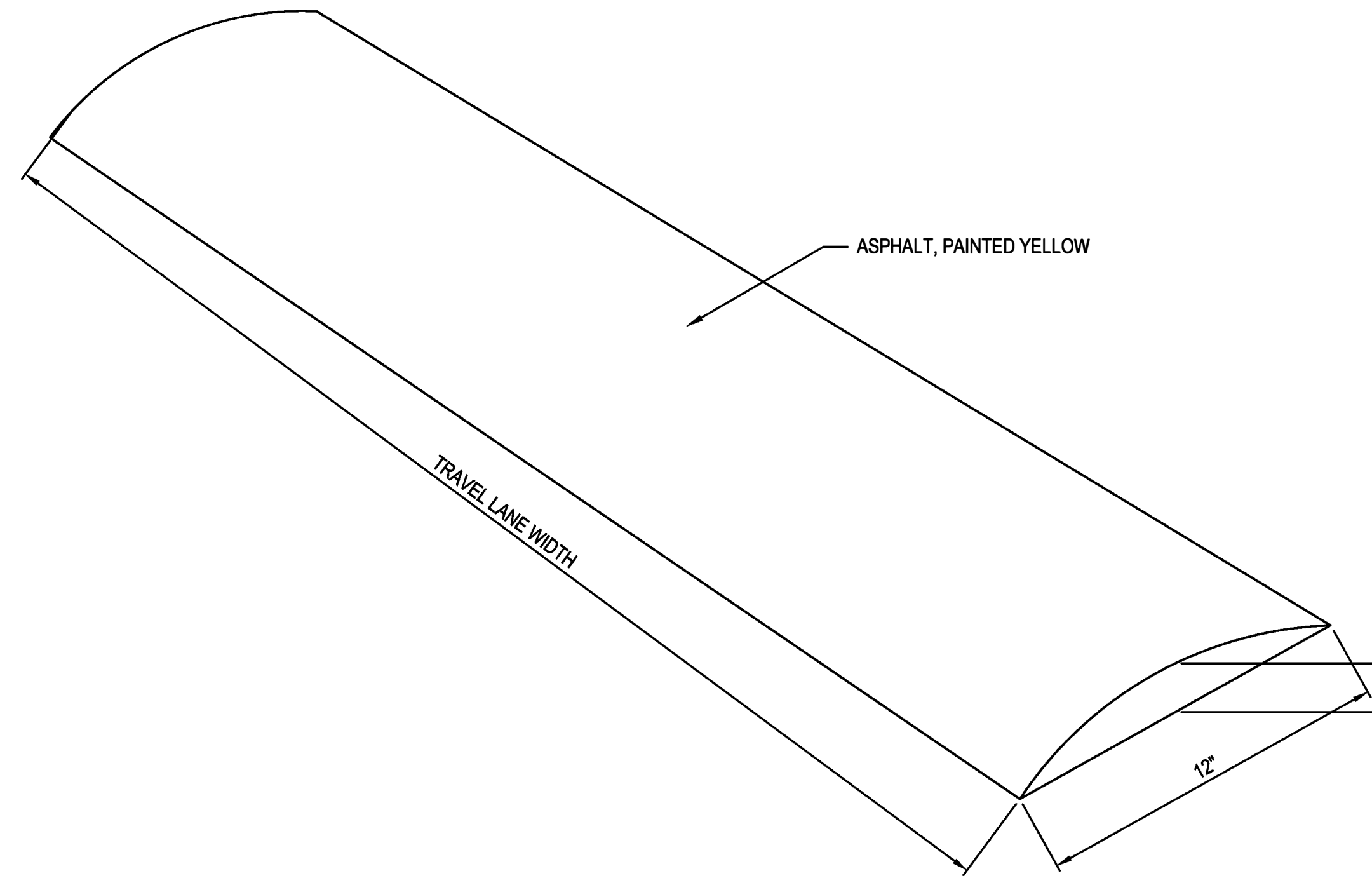


*DRIVEWAY PAVING:
 1. DRIVEWAY SECTIONS SHALL HAVE:
 - 4" MINIMUM CL 1/2" HMA
 - 6" CSBC

ASPHALT PAVING

NTS

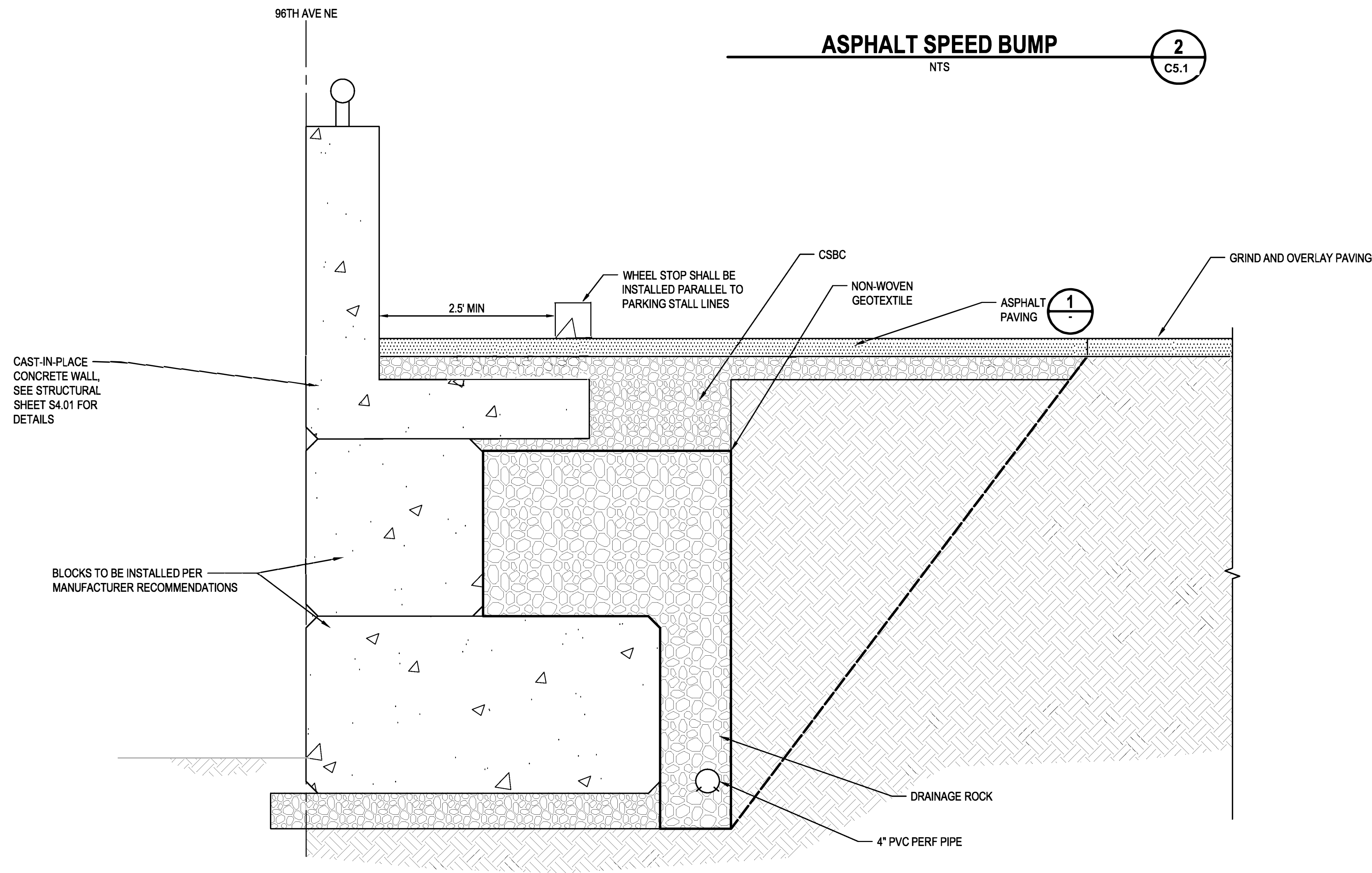
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ASPHALT SPEED BUMP

NTS

2
C5.1



PARKING AREA

NTS

A
C5.1

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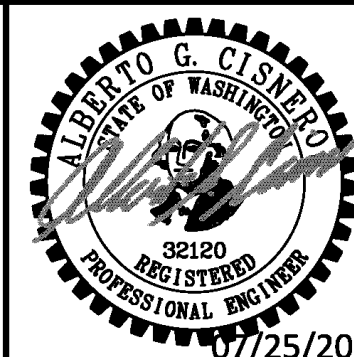
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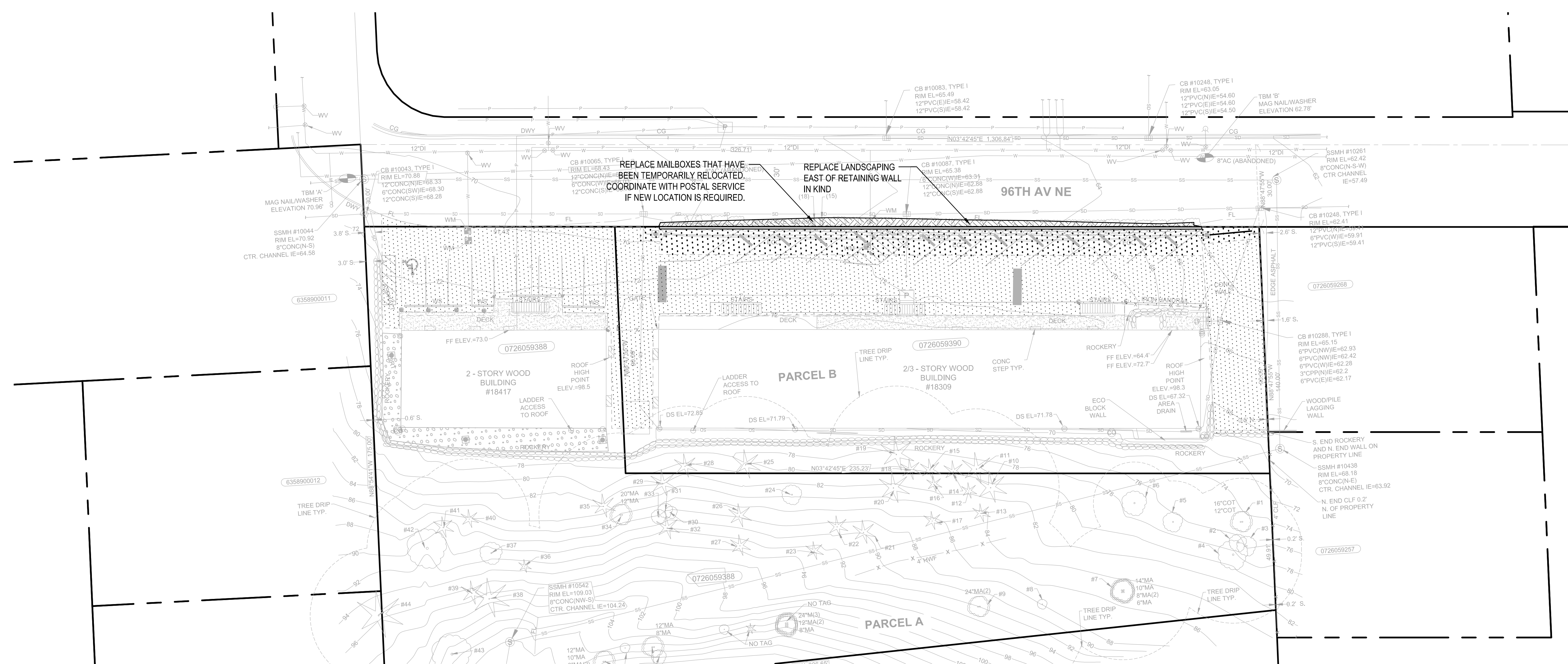
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PAVING SECTIONS AND DETAILS

SHEET

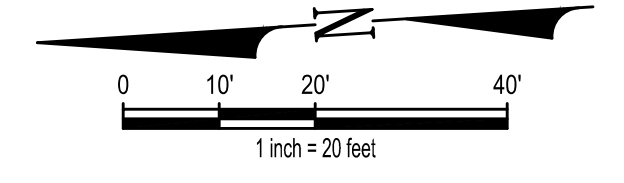
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 SamJ



NOTES

1. ALL LANDSCAPING DISTURBED OR DAMAGED DURING CONSTRUCTION TO BE REPLACED IN KIND.
2. REPLACE ANY SIGNS DISTURBED DURING CONSTRUCTION.
3. CONTRACTOR RESPONSIBLE FOR TRAFFIC CONTROL PLAN AND IMPLEMENTATION DURING CONSTRUCTION.

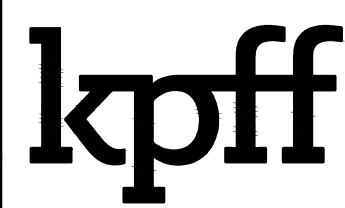


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PARK ROYAL SITE
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STREET FRONTAGE IMPROVEMENTS PLAN

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