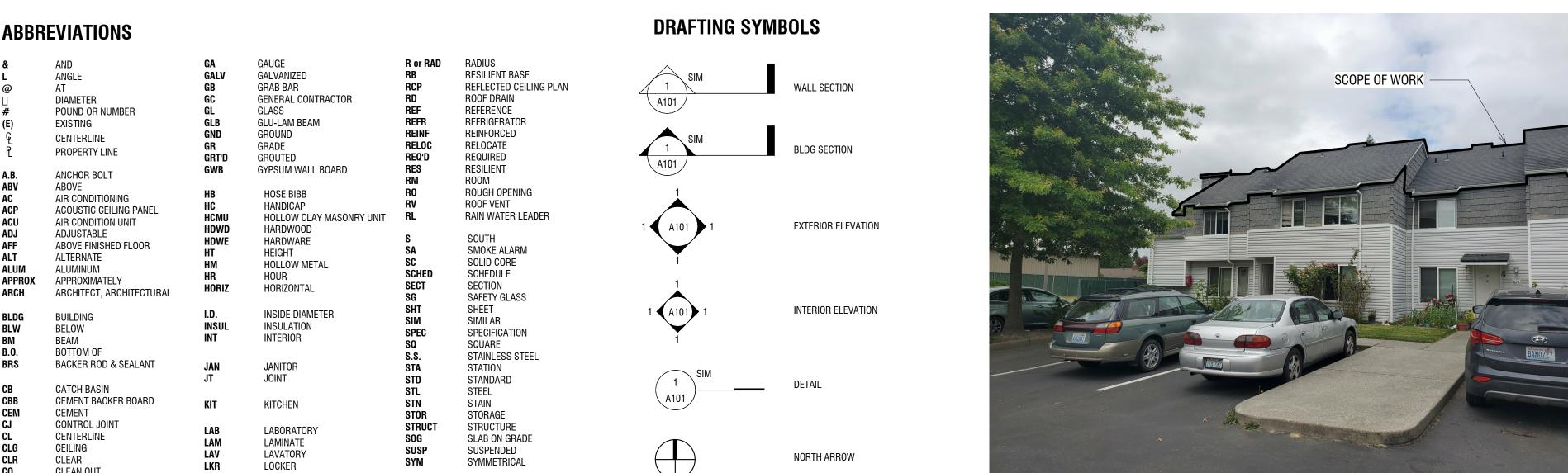
KCHA CEDAR GROVE ROOF REPLACEMENT- BUILDING C



GRID HEAD

ROOM TAG

WINDOW & STOREFRONT TAG

ROOF TAG

KEY NOTE

ELEVATION NOTE

SPOT ELEVATION

CENTERLINE

PROPERTY LINE

REVISION

BREAKLINE

DIMENSION POINT

ENLARGED DETAIL CALLOUT

FLOOR TRANSITION

FLOOR, WALL, OR

CASEWORK TAG

622-630 JENNINGS ST SEDRO-WOOLEY

VICINITY MAP

PROJECT INFORMATION

PROJECT OWNER KING COUNTY HOUSING AUTHORITY

PROJECT MANAGER CARL FRANKEL TEL: (206) 574-1249 EMAIL: carlf@kcha.org

622-630 JENNINGS ST, SEDRO-WOOLEY, WA 98284

THE SCOPE IS LIMITED TO REPLACEMENT OF EXISTING ROOFING AND EXTENDING OUTRIGGERS TO CREATE CONTINUOUS EAVE OVERHANGS ALONG BUILDINGS.

SHEET INDEX

A0.0 COVER SHEET A1.0 SITE PLAN A2.3C ROOF PLANS - BLDG C EXTERIOR DETAILS A6.2 EXTERIOR DETAILS

DESIGN TEAM

ARCHITECT:

SHKS ARCHITECTS 1050 NORTH 38TH ST

SEATTLE, WA 98103

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ZONING ANALYSIS

LEGAL DESCRIPTION TOWN OF SEDRO LOTS 14 TO 18 BLK 104

CURRENT USE APARTMENT

(E) BLDG AREA

APPLICABLE CODES

- SEDRO-WOOLEY MUNICIPAL CODE
- 2021 INTERNATIONAL BUILDING CODE 2021 INTERNATIONAL EXISTING BUILDING CODE
- 2021 WASHINGTON STATE ENERGY CODE ALL CODES ADOPTED AND AMENDED BY THE STATE BUILDING CODE COUNCIL IN CHAPTER 51 WA

ABBR	REVIATIONS					DRAFTIN
&	AND	GA	GAUGE	R or RAD	RADIUS	\wedge
L	ANGLE	GALV	GALVANIZED	RB RCP	RESILIENT BASE REFLECTED CEILING PLAN	SIM
@ []	AT DIAMETER	GB GC	GRAB BAR GENERAL CONTRACTOR	RD	ROOF DRAIN	4
⊔ #	POUND OR NUMBER	GL	GLASS	REF	REFERENCE	A101
(E)	EXISTING	GLB	GLU-LAM BEAM	REFR	REFRIGERATOR	•
<u>و</u>	CENTERLINE	GND	GROUND	REINF Reloc	REINFORCED RELOCATE	SIM
የ	PROPERTY LINE	GR GRT'D	GRADE GROUTED	REQ'D	REQUIRED	1
A D	ANCHOD DOLT	GWB	GYPSUM WALL BOARD	RES	RESILIENT	A101
A.B. ABV	ANCHOR BOLT ABOVE			RM	ROOM	
AC	AIR CONDITIONING	HB	HOSE BIBB	RO RV	ROUGH OPENING ROOF VENT	1
ACP	ACOUSTIC CEILING PANEL	HC HCMU	HANDICAP HOLLOW CLAY MASONRY UNIT	nv RL	RAIN WATER LEADER	
ACU	AIR CONDITION UNIT	HDWD	HARDWOOD			1 A 101 1
ADJ Aff	ADJUSTABLE ABOVE FINISHED FLOOR	HDWE	HARDWARE	S	SOUTH	
ALT	ALTERNATE	HT	HEIGHT	SA SC	SMOKE ALARM SOLID CORE	1
ALUM	ALUMINUM	HM HR	HOLLOW METAL HOUR	SCHED	SCHEDULE	·
APPROX	APPROXIMATELY	HORIZ	HORIZONTAL	SECT	SECTION	1
ARCH	ARCHITECT, ARCHITECTURAL			SG	SAFETY GLASS	
BLDG	BUILDING	I.D.	INSIDE DIAMETER	SHT SIM	SHEET SIMILAR	1 (A101) 1
BLW	BELOW	INSUL	INSULATION	SPEC	SPECIFICATION	
BM	BEAM	INT	INTERIOR	SQ	SQUARE	1
B.O. BRS	BOTTOM OF BACKER ROD & SEALANT		IANUTOR	S.S.	STAINLESS STEEL	
Dito	DAUKEN NOD & SEALANT	JAN JT	JANITOR JOINT	STA STD	STATION STANDARD	SIM
СВ	CATCH BASIN	UI	301111	STL	STANDARD STEEL	(1)
CBB	CEMENT BACKER BOARD	KIT	KITCHEN	STN	STAIN	A101
CEM	CEMENT			STOR	STORAGE	
CJ CL	CONTROL JOINT CENTERLINE	LAB	LABORATORY	STRUCT Sog	STRUCTURE SLAB ON GRADE	
CLG	CEILING	LAM	LAMINATE	SUSP	SUSPENDED	
CLR	CLEAR	LAV LKR	LAVATORY LOCKER	SYM	SYMMETRICAL	()
CO	CLEAN OUT	LOC	LOCATE			
COL CONC	COLUMN CONCRETE	LT	LIGHT	T, TMP	TEMPERED	
COND	CONDITION	LVL	Laminated veneer lumber	T&G	TONGUE & GROOVE	
CONT	CONTINUOUS	М	MEN'S	TEL	TELEPHONE	(0)
CPT	CARPET CERAMIC TILE	MATL	MATERIAL	TER Thk	TERRAZZO THICK	
CT CTR	CENTER	MAX	MAXIMUM	T.O.	TOP OF	ROOM NAME
V 111	CENTEN	MC MECH	MEDICINE CABINET MECHANICAL	TS	TUBE STEEL	101
DBL	DOUBLE	MEMB	MEMBRANE	TV	TELEVISION	
DEMO	DEMOLISH	MFR	MANUFACTURER	TYP	TYPICAL	(1t)
DF	DRINKING FOUNTAIN	MIN	MINIMUM	UL		
DIA Diff	DIAMETER DIFFUSER	MIR MISC	MIRROR MISCELLANEOUS	UNO	UNDERWRITERS' LABORATORIES UNLESS NOTED OTHERWISE	
DIM	DIMENSION	MH	MANHOLE	UTIL	UTILITY	R1
DISP	DISPENSER	МО	MASONRY OPENING			
DN	DOWN	MTD	MOUNTED	VCT	VINYL COMPOSITION TILE	(Ct
DR DS	DOOR DOWNSPOUT	MTL MULL	METAL MULLION	VERT VEST	VERTICAL VESTIBULE	<u>C1</u>
DTL	DETAIL	MOLL	WOLLION	VEST	VERIFY IN FIELD	
DW	DISHWASHER	N	NORTH	VTR	VENT THRU ROOF	(1t)
		NA	NOT APPLICABLE			
E	EAST	NIC	NOT IN CONTRACT	W	WEST	
EA ECS	EACH EXTERIOR COMPOSITE SIDING	NOM	NOMINAL NOT TO SCALE	W/	WITH	
EF	EXHAUST FAN	NTS NR	NOT TO SCALE NOT RATED	WC WD	WATER CLOSET WOOD	
EJ	EXPANSION JOINT	••••		WF	WIDE FLANGE	
EL Elec	ELEVATION ELECTRICAL	OA	OVERALL	WIN	WINDOW	NIA NAF
ELEV	ELECTRICAL ELEVATOR	OBS	OBSCURE	W/O WOM	WITHOUT WALK OFF MAT	ELEVATION -
EMERG	EMERGENCY	O.C. O.D.	ON CENTER OUTSIDE DIAMETER	WM	WOMEN'S	
EQ	EQUAL	O.D. OFF	OFFICE	WP	WATERPROOFING	YYY ⊥
EXP	EXPANSION	OPNG	OPENING	WR	WATER RESISTANT	T.O. XXX
	FIDED DOADD S	OPP	OPPOSITE	WSCT WT	WAINSCOT WEIGHT	/
FBP FD	FIBER BOARD PANEL FLOOR DRAIN	B.	DDEOACT COMOST			
FE	FIRE EXTINGUISHER	PC PL	PRECAST CONCRETE PLATE			Ģ
FF	FINISH FLOOR	PLAS	PLASTER			г – – – –
FH	FIRE HYDRANT	PLY	PLYW00D			
FIN FLR	FINISH FLOOR	P.LAM	PLASTIC LAMINATE			D .
F.O.	FACE OF	PNT POC	PAINT POINT OF CONNECTION			
FOIC	FURNISHED BY OWNER,	PR	PAIR			XXX _X XXX
EOIO	INSTALL BY CONTRACTOR	PSL	PARALLEL STRAND LUMBER			<u>\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\</u>
F010	FURNISHED BY OWNER INSTALL BY OWNER	PT	PRESSURE TREATED			٨
FR	FIRE RESISTANT	PTN	PARTITION			<u></u>
FS	FLOOR SINK	0 T	OLIADOV TU E			DESCRIPTION
FT	FEET	QT	QUARRY TILE			•
						/\
						.1
BAATERIAL OVBAROLO						igoplus
MATERIAL SYMBOLS						

RIGID INSULATION

GENERAL NOTES

- PRIOR TO STARTING OR CONTINUING WORK IN THE AREA CONCERNED.

- THE INTERNATIONAL BUILDING CODE WITH LOCAL AMENDMENTS, INTERNATIONAL MECHANICAL CODE (IMC), NATIONAL ELECTRICAL CODE (NEC) INTERNATIONAL FIRE CODE (IFC), AND WASHINGTON STATE ENERGY CODE (WEC).
- 2. PER 602.1 LEVEL 1 ALTERATIONS INCLUDE REMOVAL AND REPLACEMENT OR THE COVERING OF EXISTING MATERIALS, ELEMENTS, EQUIPMENT OR FIXTURES UISNG NEW MATERIALS, ELEMENTS, EQUIPMENT OR FIXTURES THAT SERVE THE SAME PURPOSE.PER 701.2 AN EXISTING BUILDING OR PORTION THEREOF SHALL NOT BE ALTERED SUCH THAT BUILDING BECOMES LESS SAFE THAN ITS EXISTING CONDITION.
- 3. PER SEC R503.1.1 EXCEPTION 2, THE BUILDING ENVELOPE ALTERATION IS NOT REQUIRED TO MEET NEW CONSTRUCTION BECAUSE THE WALL AND ROOF CAVITIES EXPOSED DURING CONSTRUCTION SHALL BE FILLED WITH INSULATION. 4. EXISTING FIRE EXTINGUISHERS AND CABINETS ARE NOT SHOWN ON PLANS. PROTECT EXISTING FIRE EXTINGUISHERS AND CABINETS (RECESSED
- 1. THE CONTRACTOR WILL SUSPEND WORK IMMEDIATELY AND NOTIFY THE OWNER IF MATERIALS SUSPECTED OF BEING HAZARDOUS, AND NOT PREVIOUSLY IDENTIFIED, ARE ENCOUNTERED IN THE COURSE OF THE CONTRACTOR'S WORK.

- 1. WHERE ITEMS ARE INDICATED ON PLANS TO BE DEMOLISHED, IT SHALL MEAN THE COMPLETE REMOVAL AND DISPOSAL OF THE ITEM INDICATED UNLESS OTHERWISE NOTED. "REMOVE" MEANS TO COMPLETELY AND PERMANENTLY REMOVE FROM THE PROJECT.
- 2. CONTRACTOR IS RESPONSIBLE FOR REVIEW OF THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR CUTTING AND PATCHING WORK.

DIMENSIONS:

- DO NOT SCALE DRAWINGS. 2. VERIFY DIMENSIONS SHOWN ON DRAWINGS. USE ONLY DIMENSIONS INDICATED. PRIOR TO STARTING OR CONTINUING WORK, NOTIFY ARCHITECT
- OF DISCREPANCIES OR CONDITIONS INCONSISTENT WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS. 3. DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF MASONRY, OR FACE OF STUD, UNLESS OTHERWISE NOTED.
- 4. FINISHED SURFACE OF INFILL OR EXTENSIONS OF EXISTING PARTITIONS SHALL ALIGN WITH ADJACENT EXISTING SURFACES UNLESS OTHERWISE
- 5. VERTICAL DIMENSIONS ARE MEASURED FROM STRUCTURAL SLAB, TOP OF STEEL OR TOP OF SHEATHING, UNLESS NOTED OTHERWISE.

COORDINATION:

- 1. COORDINATE ALL OPERATIONS WITH OWNER, SUCH AS AREAS USED FOR MATERIAL STORAGE, ACCESS TO AND FROM THE SITE, TIMING OF WORK AND REQUIREMENTS OF NOISE ORDINANCE. INSTALL DUST AND NOISE BARRIERS AS REQUIRED TO PROTECT EXISTING ADJACENT BUILDINGS AND OCCUPANTS AND TO MAINTAIN AN ENVIRONMENT SUITABLE TO PERMIT CONTINUED OCCUPANCY OF SUBJECT AND ADJACENT BUILDINGS.
- 2. REVIEW DEMOLITION DRAWINGS. PATCH AND REPAIR ALL EXISTING SURFACES AFFECTED BY DEMOLITION WORK.
- 3. VERIFY LOCATIONS OF EXISTING UTILITIES. CAP, MARK AND PROTECT AS NECESSARY TO COMPLETE THE WORK. 4. PRIOR TO CONSTRUCTION, COORDINATE ALL WORK WITH WITH THE POWER, TELEPHONE AND CABLE TV UTILITY PROVIDERS TO THE BUILDING. CONFIRM THE SERVICE INTERRUPTION, SEQUENCE OF WORK AND CONDUCTOR CONCEALMENT IN BUILDING ENVELOPE PRIOR TO STARTING WORK.
- 5. REFER TO DIVISION ONE OF THE PROJECT DOCUMENTS FOR FURTHER REQUIREMENTS FOR THE ADVANCE NOTIFICATION TO THE BUILDING TENANTS BEFORE ANY SYSTEM SHUTDOWN. ALL SHUTDOWN AND CHANGE-OVER TIME SHALL BE KEPT TO A MINIMUM. THE CONTRACTOR SHALL SUBMIT A OUTAGE PROPOSAL TO KCHA FOR APPROVAL. NO BUILDING SYSTEM SHUTDOWNS WILL BE ALLOWED WITHOUT BEING SCHEDULED AND
- 6. PIPING, CONDUITS, DUCTS, ETC. SHALL BE CONCEALED IN WALLS, CHASES, ABOVE SUSPENDED CEILINGS, BELOW FLOORS OR BE FURRED-IN IN ROOMS WITH EXISTING CEILINGS, UNLESS OTHERWISE NOTED. DO NOT CONCEAL PIPING, CONDUITS, DUCTS, ETC. IN ELECTRICAL, MECHANICAL,
- AND COMMUNICATION ROOMS. 7. COORDINATE AND PROVIDE REQUIRED PENETRATIONS AND PATCHING TO SUIT NEW WORK.

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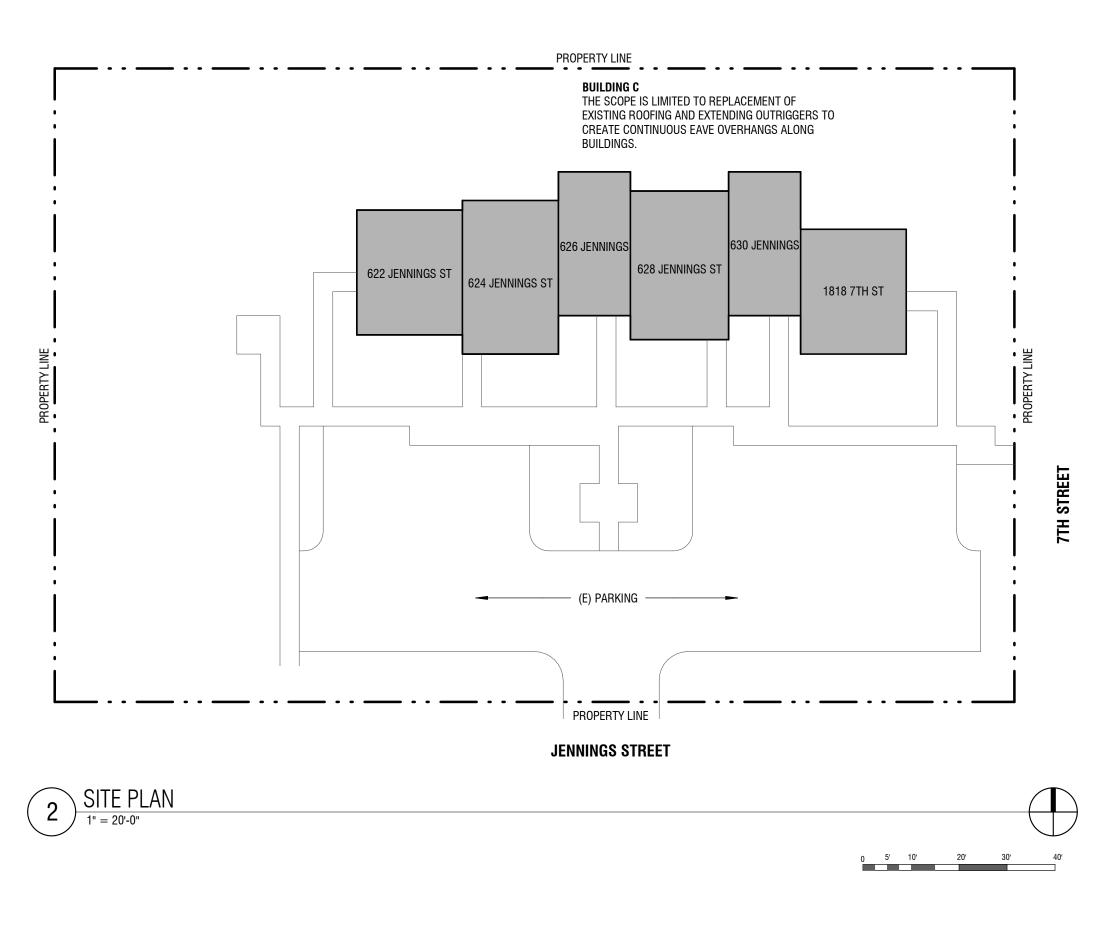
CEDAR

REPLACEMENT-

622-630 JENNINGS ST

SEDRO-WOOLEY, WA 98284

Drawn by: Checked: Date: 09/04/2024



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KCHA CEDAR GROVE

REPLACEMENT-**BUILDING C**

PERMIT SET

Remarks

622-630 JENNINGS ST — SEDRO-WOOLEY, WA 98284

> Drawn by: Checked: Date: 09/04/2024 Scale: 1" = 20'-0"

— Revisions:

__ <u>No.</u> <u>Date</u>

TREE PROTECTION & VEGETATION REMOVAL

1. THE CONTRACTOR SHALL PRESERVE ONSITE VEGETATION TO THE MAXIMUM EXTENT POSSIBLE. 2. NOT ALL MINOR LANDSCAPING AND HEDGES ARE SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO BIDDING AND MUST PROTECT THOSE

CONDITIONS DURING CONSTRUCTION. 3. ALL LANDSCAPE / UNIMPROVED AREAS TO BE DISTURBED SHALL BE RESTORED TO THEIR EXISTING CONDITIONS. 4. OWNER WILL PROVIDE TREE PRUNING AS NECESSARY.

1. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS TO AVOID DAMAGE AND/OR DISTURBANCE TO SUCH UTILITIES, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES WHICH MAY BE AFFECTED BY THE

IMPLEMENTATION OF THIS PLAN.

GENERAL NOTES

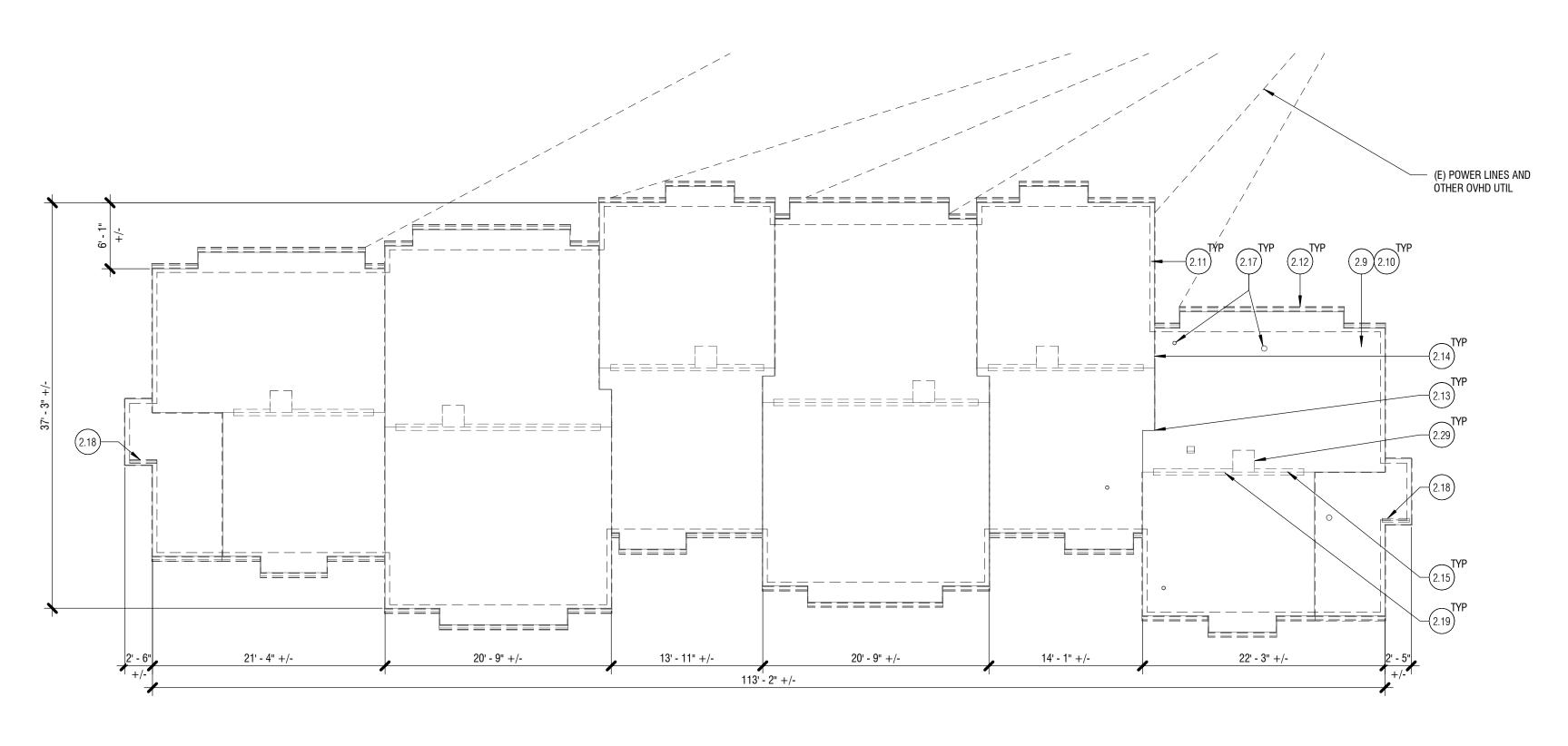
TEMPORARY EROSION AND SEDIMENT CONTROL

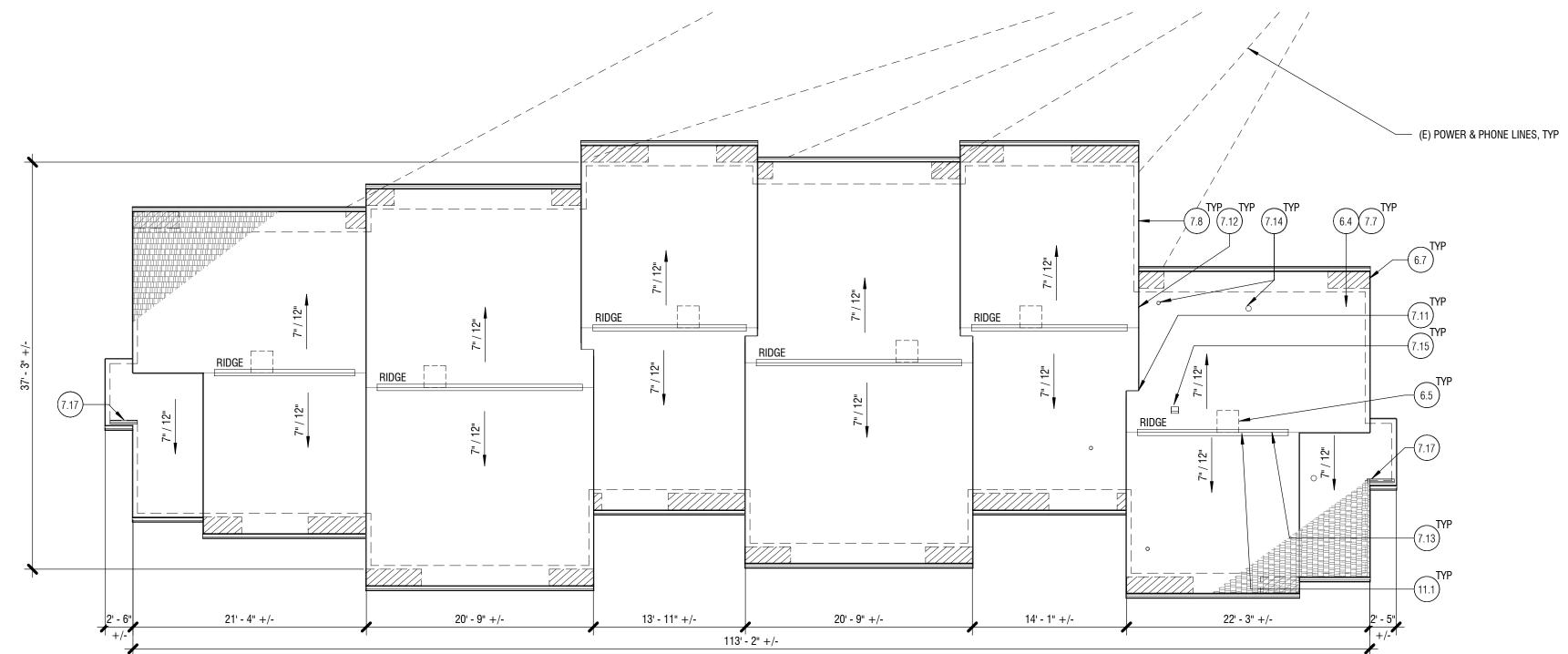
1. THE CONTRACTOR SHALL CONDUCT WORK AND TAKE PREVENTATIVE MEASURES SUCH THAT DUST OR OTHER PARTICULATE MATTER IN THE PROJECT AREA SHALL NOT BECOME OBJECTIONABLE TO THE OWNER AND THAT THE CONSTRUCTION SITE MEETS THE REQUIREMENTS OF REGULATIONS 1 AND 2 OF THE PUGET SOUND AIR POLLUTION CONTROL AUTHORITY.

2. PROPER EROSION AND SEDIMENT CONTROL PRACTICES MUST BE USED ON THE CONSTRUCTION SITE AND ADJACENT AREAS TO PREVENT UPLAND SEDIMENTS FROM ENTERING THE NATURAL STORM WATER DRAINAGE SYSTEM. EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY

3. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS BEYOND THE SCOPE OF WORK TO THEIR EXISTING CONDITION OR BETTER. HYDROSEED ALL GRASS AREAS DISTURBED.

SITE PLAN





IBC 1203.2- ROOF VENTILATION:

DEMO LEGEND:

— — — DEMOLISH

GENERAL NOTES:

 IF WATER DAMAGE IS OBSERVED IN THE COURSE OF THE PROJECT, NOTIFY OWNER IMMEDIATELY. 2. ALL DIMENSIONS ARE APPROXIMATE. VERIFY IN FIELD.

AREA = 3,317 SF = 477,648 SQ. IN.1/150 X 477,648 SQ. IN. = 3,184 SQ. IN. NFVA

REQUIRED RIDGE VENT AREA = 50% X 3,184 SQ. IN. = 1,592 SQ. IN. NFVA PROPOSED RIDGE VENT: COR-A-VENT V-600 = 20 SQ. IN. NFVA PER LF 1,592 SQ. IN. NFVA / 20 SQ. IN. NFVA PER LF = **80 LF NEEDED (~92 LF PROVIDED)**

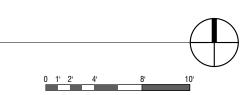
REQUIRED INTAKE VENT AREA @ EAVE = 1,592 SQ. IN. NFVA PROPOSED EAVE VENT: COR-A-VENT RS400 = 10 SQ. IN. NFVA PER LF 1,592 SQ. IN. NFVA / 10 SQ. IN. NFVA PER LF = 159 LF NEEDED (\sim 226 LF PROVIDED)

PLAN LEGEND:

_ __ _ (E) WALL BELOW

INSTALL OUTRIGGER TO CREATE CONTINUOUS ROOF OVERHANG ALONG LENGTH OF (E) BUILDING, ALIGN WITH (E) EAVE OVERHANG

1. PATCH, REPAIR, AND PAINT INTERIOR GWB DAMAGED DURING CONSTRUCTION.



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KCHA CEDAR GROVE

PERMIT SET 622-630 JENNINGS ST

SEDRO-WOOLEY, WA 98284

REPLACEMENT-

09/04/2024 As indicated — Revisions: Remarks

(E) BUILDING, ALIGN WITH (E) EAVE OVERHANG, REF 2 / A6.1 FIBERGLASS REINFORCED ASPHALT SHINGLES ON (2) LAYERS OF SYNTHETIC

FIBER CEMENT FASCIA AND BARGE BOARD AND SOFFIT, REF 2 / A6.1 FULLY-SOLDERED STAINLESS STEEL VALLEY FLASHING, EXTEND PAST TRANSITION POINT, RETURN DOWN BOTH ENDS WITH FLANGES INTEGRATED IN SHINGLE FASHION,

INFILL W/ SHEATHING AT ABANDONED PENETRATION OPENING

KEYNOTE LEGEND

REMOVE (E) FASCIA AND BARGE BOARD AND SOFFIT

REMOVE (E) COMPOSITE ROOFING, UNDERLAYMENT, AND ASSOCIATED FLASHINGS

REMOVE (E) ROOF RIDGE VENT STRUCTURE, FLUSH WITH SLOPE OF ADJACENT ROOF

INSTALL OUTRIGGER TO CREATE CONTINUOUS ROOF OVERHANG ALONG LENGTH OF

REPLACE (E) DAMAGED ROOF SHEATHING, ASSUME (10) 4'x8' SHEETS TO BE

REVIEW EXTENT OF DAMAGED SHEATHING W/ OWNER PRIOR TO REPLACING (E)

REF 6 / A6.2 STEP FLASHING AT WALL TO ROOF TRANSITION, REF 4 / A6.1

UNDERLAYMENT, REF ROOF ASSEMBLY A6.1

7.13 RIDGE VENT AT (E) OPENING, REF 3 / A6.2

KEYNOTE TEXT

DAMAGED ROOF SHEATHING

REMOVE (E) STEP FLASHING

REMOVE (E) RAIN DIVERTER

REPLACED AT EACH BUILDING

REMOVE (E) RIDGE VENT

REMOVE (E) GUTTERS AND DOWNSPOUT

REMOVE (E) METAL VALLEY FLASHING

REMOVE (E) PIPE BOOT AND FLASHING

REMOVE (E) FALL PROTECTION SYSTEM

MARK 2.9

2.10

2.12

2.13

2.14

2.15

2.17

2.18

2.19

7.14 PIPE FLASHING AT (E) VENT PENETRATION, REF 7 / A6.2

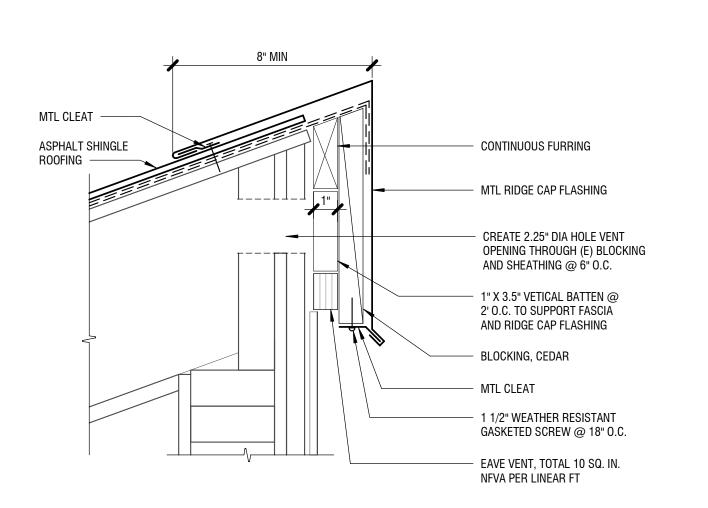
ROOF VENT CAP AT EXISTING PENETRATION, REF 4 / A6.2 ROOF MOUNTED STAINLESS STEEL OR COATED ALUMINIUM METAL RAIN DIVERTER, 36" W/ EXPOSED HEMMED EDGE, MOUNT ON SECOND TO BOTTOM ROW OF SHINGLES,

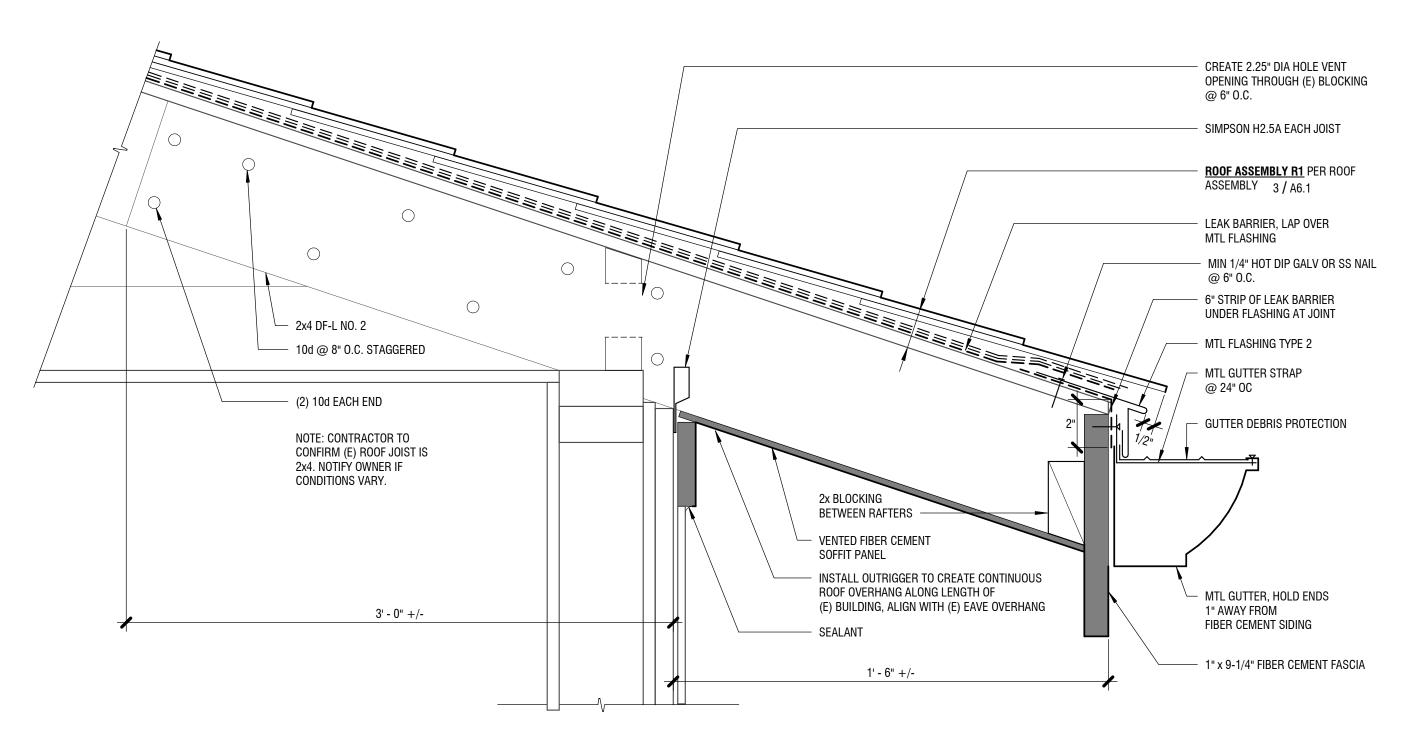
ROOFING CEMENT AT EACH NAIL AND BETWEEN SHINGLES AND DIVERTER

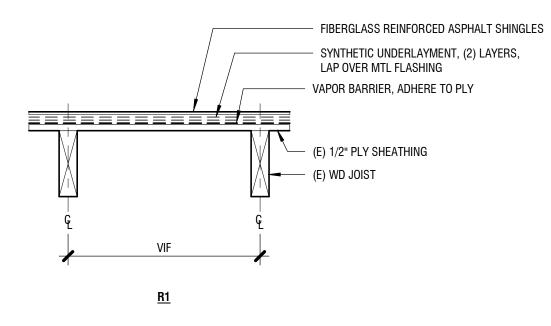
11.1 FALL PROTECTION SYSTEM REF 3 / A6.2

ROOF PLANS -

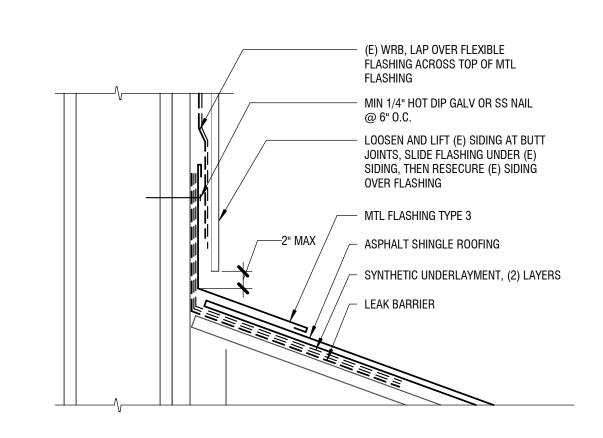
ROOF DEMO PLAN - BLDG C

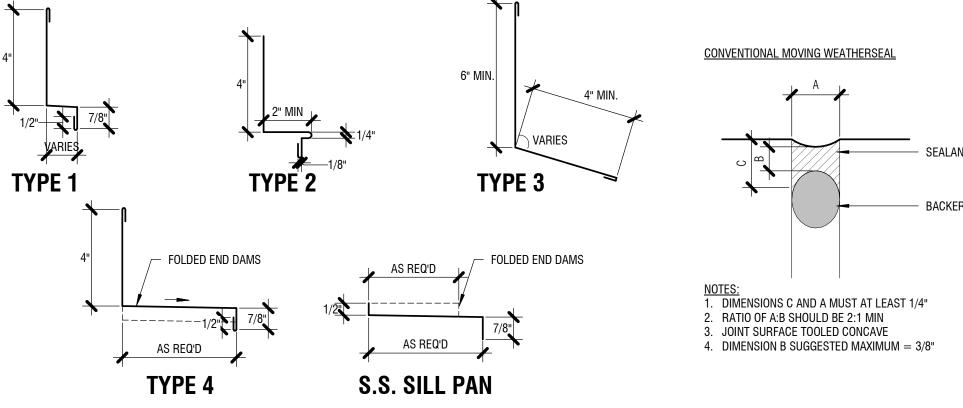


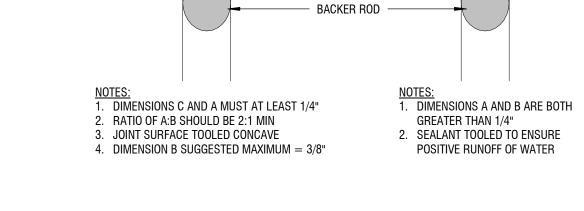




ROOF ASSEMBLY







HORIZONTAL TO VERTICAL JOINT

TOP OF WALL

FLASHING TYPES

3" = 1'-0"

ROOF EAVE OVERHANG AND GUTTER

6 SEALANT JOINT & BACKER ROD

CEDAR GROVE

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REPLACEMENT-**BUILDING C**

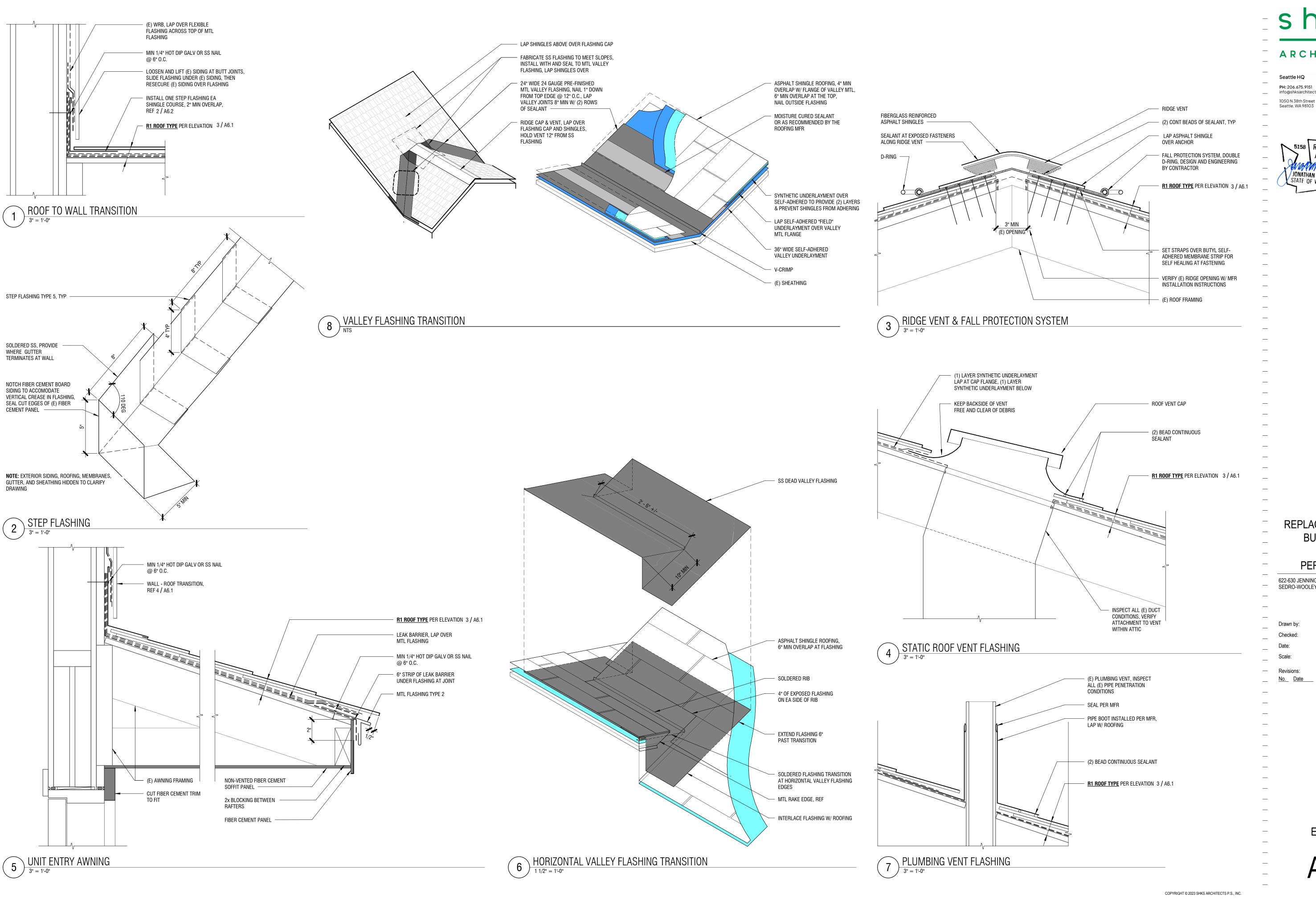
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> **EXTERIOR DETAILS**

Remarks



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> JONATHAN H. HARTUNG STATE OF WASHINGTON

> > CEDAR

REPLACEMENT-**BUILDING C**

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