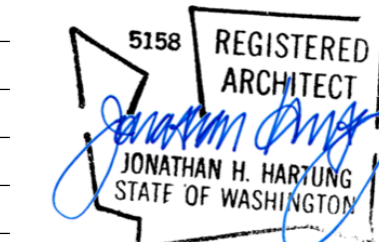


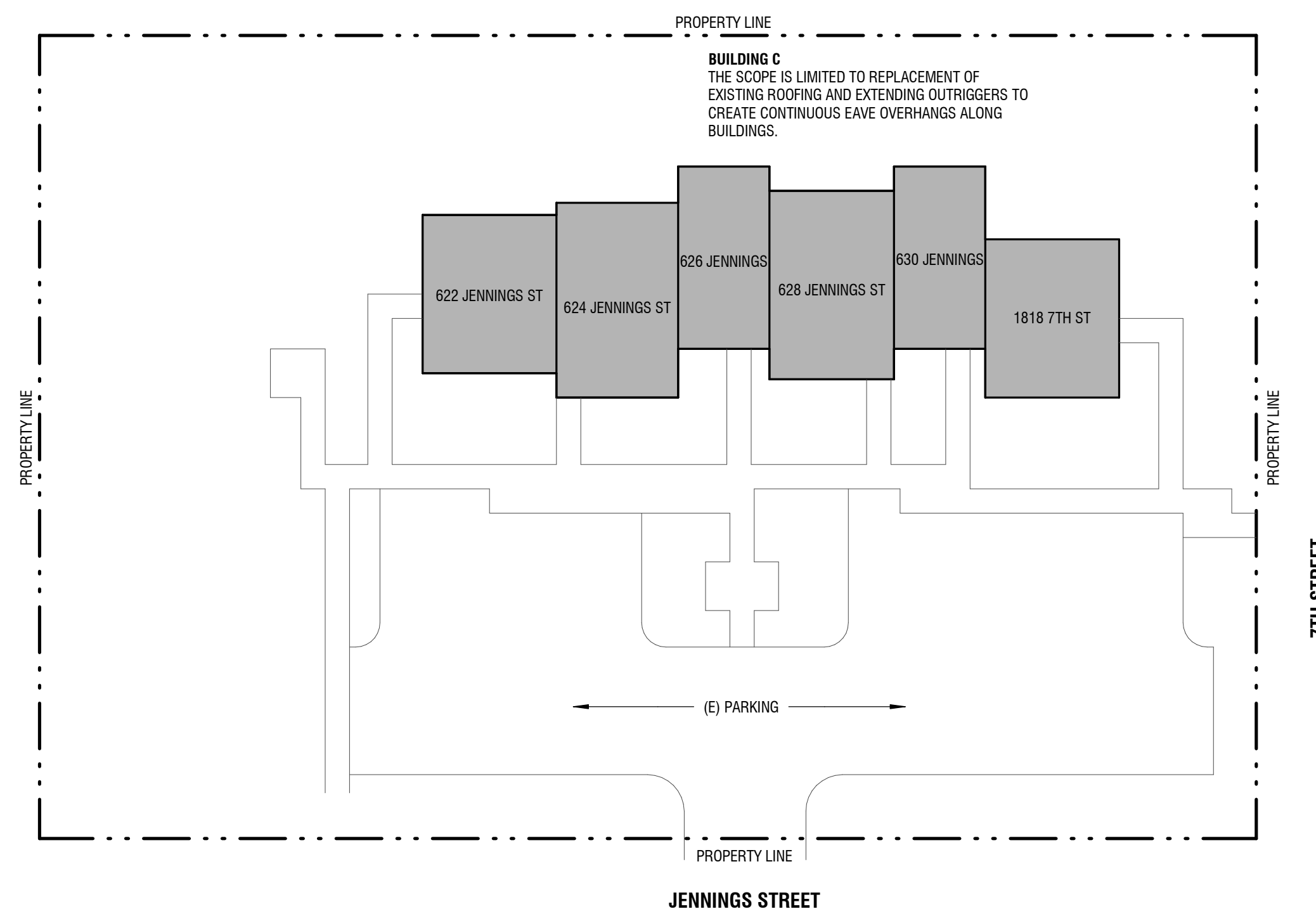
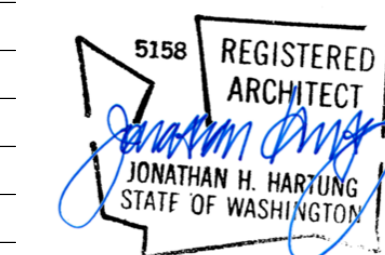
# KCHA CEDAR GROVE ROOF REPLACEMENT- BUILDING C



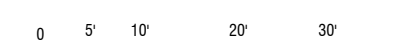
## ABBREVIATIONS

<b>&amp; L @</b>	AND ANGLE AT	<b>GA</b>	GAUGE	<b>R or RAD</b>	RADIUS
<b>#</b>	DIAMETER	<b>GB</b>	GALVANIZED GRAB BAR	<b>RB</b>	RESILIENT BASE
<b>(E)</b>	EXISTING	<b>GC</b>	GENERAL CONTRACTOR	<b>RCP</b>	REFLECTED CEILING PLAN
<b>CL</b>	CENTERLINE	<b>GL</b>	GLASS	<b>RD</b>	ROOF DRAIN
<b>CL</b>	PROPERTY LINE	<b>GLB</b>	GLU-LAM BEAM	<b>REF</b>	REFERENCE
<b>A.B.</b>	ANCHOR BOLT	<b>GR</b>	GROUND	<b>REFR</b>	REFRIGERATOR
<b>ABV</b>	ABOVE	<b>GRT'D</b>	GROUTED	<b>REINF</b>	REINFORCED
<b>AC</b>	AIR CONDITIONING	<b>GWB</b>	GYP SUM WALL BOARD	<b>RELOC</b>	RELOCATE
<b>ACP</b>	ACOUSTIC CEILING PANEL	<b>HB</b>	HOSE BIB	<b>REQ'D</b>	REQUIRED
<b>ACU</b>	AIR CONDITION UNIT	<b>HC</b>	HANDICAP	<b>RES</b>	RESILIENT
<b>ADJ</b>	ADJUSTABLE	<b>HCMU</b>	HOLLOW CLAY MASONRY UNIT	<b>RM</b>	ROOM
<b>AF</b>	ABOVE FINISHED FLOOR	<b>HDWD</b>	HARDWOOD	<b>RO</b>	ROUGH OPENING
<b>ALT</b>	ALTERNATE	<b>HDWE</b>	HARDWARE	<b>RV</b>	ROOF VENT
<b>ALUM</b>	ALUMINUM	<b>HM</b>	HOLLOW METAL	<b>RL</b>	RAIN WATER LEADER
<b>APPROX</b>	APPROXIMATELY	<b>HR</b>	HORIZONTAL	<b>S</b>	SOUTH
<b>ARCH</b>	ARCHITECT, ARCHITECTURAL	<b>HRIZ</b>	HORIZONTAL	<b>SA</b>	SMOKE ALARM
<b>BLDG</b>	BUILDING	<b>I.D.</b>	INSIDE DIAMETER	<b>SC</b>	SOLID CORE
<b>BLW</b>	BELOW	<b>INSUL</b>	INSULATION	<b>SCHED</b>	SCHEDULE
<b>BM</b>	BEAM	<b>INT</b>	INTERIOR	<b>SECT</b>	SECTION
<b>B.O.</b>	BOTTOM OF	<b>JAN</b>	JANITOR	<b>SG</b>	SAFETY GLASS
<b>BRS</b>	BACKER ROD & SEALANT	<b>JT</b>	JOINT	<b>SHT</b>	SHEET
<b>CB</b>	CATCH BASIN	<b>KIT</b>	KITCHEN	<b>SIM</b>	SIMILAR
<b>CEB</b>	CEMENT BACKER BOARD	<b>LAB</b>	LABORATORY	<b>SPEC</b>	SPECIFICATION
<b>CEM</b>	CEMENT	<b>LAM</b>	LAMINATE	<b>SQ</b>	SQUARE
<b>CJ</b>	CONTROL JOINT	<b>LAV</b>	LAVATORY	<b>STA</b>	STAINLESS STEEL
<b>CL</b>	CENTERLINE	<b>LKR</b>	LOCKER	<b>STD</b>	STANDARD
<b>CLG</b>	CEILING	<b>LOC</b>	LOCATE	<b>STL</b>	STEEL
<b>CLR</b>	CLEAR	<b>LT</b>	LIGHT	<b>STN</b>	STAIN
<b>CO</b>	CLEAN OUT	<b>LVL</b>	LAMINATED VENEER LUMBER	<b>STOR</b>	STORAGE
<b>COL</b>	COLUMN	<b>M</b>	MEN'S	<b>STRUC</b>	STRUCTURE
<b>CONC</b>	CONCRETE	<b>MATL</b>	MATERIAL	<b>SOG</b>	SLAB ON GRADE
<b>COND</b>	CONDITION	<b>MAX</b>	MAXIMUM	<b>SUSP</b>	SUSPENDED
<b>CONT</b>	CONTINUOUS	<b>MC</b>	MEDICINE CABINET	<b>SYM</b>	SYMMETRICAL
<b>CPT</b>	CARPET	<b>MECH</b>	MECHANICAL	<b>T, TMP</b>	TEMPERED
<b>CT</b>	CERAMIC TILE	<b>MEMB</b>	MEMBRANE	<b>T&amp;G</b>	TONGUE & GROOVE
<b>CTR</b>	CENTER	<b>MFR</b>	MANUFACTURER	<b>TEL</b>	TELEPHONE
<b>DBL</b>	DOUBLE	<b>MIN</b>	MINIMUM	<b>TER</b>	TERRAZZO
<b>DEMO</b>	DEMOLISH	<b>MIR</b>	MIRROR	<b>THK</b>	THICK
<b>DF</b>	DRINKING FOUNTAIN	<b>MISC</b>	MISCELLANEOUS	<b>T.O.</b>	TOP OF
<b>DIA</b>	DIAMETER	<b>MH</b>	MANHOLE	<b>TS</b>	TUBE STEEL
<b>DIFF</b>	DIFFUSER	<b>MO</b>	MASONRY OPENING	<b>TV</b>	TELEVISION
<b>DIM</b>	DIMENSION	<b>MTD</b>	MOUNTED	<b>TYP</b>	TYPICAL
<b>DISP</b>	DISPENSER	<b>MTL</b>	METAL	<b>UL</b>	UNDERWRITERS' LABORATORIES
<b>DN</b>	DOWN	<b>MULL</b>	MULLION	<b>UNO</b>	UNLESS NOTED OTHERWISE
<b>DR</b>	DOOR	<b>N</b>	NORTH	<b>UTIL</b>	UTILITY
<b>DS</b>	DOWNSPOUT	<b>NA</b>	NOT APPLICABLE	<b>VCT</b>	VINYL COMPOSITION TILE
<b>DTL</b>	DETAIL	<b>NIC</b>	NOT IN CONTRACT	<b>VERT</b>	VERTICAL
<b>DW</b>	DISHWASHER	<b>NOM</b>	NOMINAL	<b>VEST</b>	VESTIBULE
<b>E</b>	EAST	<b>NTS</b>	NOT TO SCALE	<b>VIF</b>	VERIFY IN FIELD
<b>EA</b>	EACH	<b>NR</b>	NOT RATED	<b>VTR</b>	VENT THRU ROOF
<b>ECS</b>	EXTERIOR COMPOSITE SIDING	<b>OA</b>	OVERALL	<b>W</b>	WEST
<b>EJ</b>	EXHAUST FAN	<b>MFR</b>	MANUFACTURER	<b>W/</b>	WITH
<b>EJ</b>	EXPANSION JOINT	<b>MIN</b>	MINIMUM	<b>WC</b>	WATER CLOSET
<b>EL</b>	ELEVATION	<b>MIR</b>	MIRROR	<b>WD</b>	WOOD
<b>ELEC</b>	ELECTRICAL	<b>MISC</b>	MISCELLANEOUS	<b>WF</b>	WIDE FLANGE
<b>ELEV</b>	ELEVATOR	<b>MO</b>	MASONRY OPENING	<b>WIN</b>	WINDOW
<b>EMERG</b>	EMERGENCY	<b>MTD</b>	MOUNTED	<b>W/O</b>	WITHOUT
<b>EQ</b>	EQUAL	<b>MTL</b>	METAL	<b>WOM</b>	WALK OFF MAT
<b>EXP</b>	EXPANSION	<b>MULL</b>	MULLION	<b>WM</b>	WOMEN'S
<b>FBP</b>	FIBER BOARD PANEL	<b>N</b>	NORTH	<b>WP</b>	WATERPROOFING
<b>FD</b>	FLOOR DRAIN	<b>NA</b>	NOT APPLICABLE	<b>WR</b>	WATER RESISTANT
<b>FE</b>	FIRE EXTINGUISHER	<b>NIC</b>	NOT IN CONTRACT	<b>WSCT</b>	WAINSCOT
<b>FF</b>	FINISH FLOOR	<b>NOM</b>	NOMINAL	<b>WT</b>	WEIGHT
<b>FH</b>	FIRE HYDRANT	<b>NTS</b>	NOT TO SCALE	<b>W</b>	WEST
<b>FIN</b>	FINISH	<b>NR</b>	NOT RATED	<b>W/</b>	WITH
<b>FLR</b>	FLOOR	<b>OA</b>	OVERALL	<b>WC</b>	WATER CLOSET
<b>F.O.</b>	FACE OF	<b>MFR</b>	MANUFACTURER	<b>WD</b>	WOOD
<b>FOIC</b>	FURNISHED BY OWNER, INSTALL BY CONTRACTOR	<b>MIN</b>	MINIMUM	<b>WF</b>	WIDE FLANGE
<b>FOIO</b>	FURNISHED BY OWNER, INSTALL BY OWNER	<b>MIR</b>	MIRROR	<b>WIN</b>	WINDOW
<b>FR</b>	FIRE RESISTANT	<b>MISC</b>	MISCELLANEOUS	<b>W/O</b>	WITHOUT
<b>FS</b>	FLOOR SINK	<b>MO</b>	MASONRY OPENING	<b>WOM</b>	WALK OFF MAT
<b>FT</b>	FEET	<b>MTD</b>	MOUNTED	<b>WM</b>	WOMEN'S
		<b>MTL</b>	METAL	<b>WP</b>	WATERPROOFING
		<b>MULL</b>	MULLION	<b>WR</b>	WATER RESISTANT
		<b>N</b>	NORTH	<b>WSCT</b>	WAINSCOT
		<b>NA</b>	NOT APPLICABLE	<b>WT</b>	WEIGHT
		<b>NIC</b>	NOT IN CONTRACT		
		<b>NOM</b>	NOMINAL		
		<b>NTS</b>	NOT TO SCALE		
		<b>NR</b>	NOT RATED		
		<b>OA</b>	OVERALL		
		<b>MFR</b>	MANUFACTURER		
		<b>MIN</b>	MINIMUM		
		<b>MIR</b>	MIRROR		
		<b>MISC</b>	MISCELLANEOUS		
		<b>MO</b>	MASONRY OPENING		
		<b>MTD</b>	MOUNTED		
		<b>MTL</b>	METAL		
		<b>MULL</b>	MULLION		
		<b>N</b>	NORTH		
		<b>NA</b>	NOT APPLICABLE		
		<b>NIC</b>	NOT IN CONTRACT		
		<b>NOM</b>	NOMINAL		
		<b>NTS</b>	NOT TO SCALE		
		<b>NR</b>	NOT RATED		
		<b>OA</b>	OVERALL		
		<b>MFR</b>	MANUFACTURER		
		<b>MIN</b>	MINIMUM		
		<b>MIR</b>	MIRROR		
		<b>MISC</b>	MISCELLANEOUS		
		<b>MO</b>	MASONRY OPENING		
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		<b>MIR</b>	MIRROR		
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		<b>MO</b>	MASONRY OPENING		
		<b>MTD</b>	MOUNTED		
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		<b>MIN</b>	MINIMUM		
		<b>MIR</b>	MIRROR		
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		<b>MO</b>	MASONRY OPENING		
		<b>MTD</b>	MOUNTED		
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		<b>NA</b>	NOT APPLICABLE		
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		<b>MFR</b>	MANUFACTURER		
		<b>MIN</b>	MINIMUM		
		<b>MIR</b>	MIRROR		
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		<b>MIR</b>	MIRROR		
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		<b>NA</b>	NOT APPLICABLE		
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		<b>MO</b>	MASONRY OPENING		
		<b>MTD</b>	MOUNTED		
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		<b>MISC</b>	MISCELLANEOUS		
		<b>MO</b>	MASONRY OPENING		
		<b>MTD</b>	MOUNTED		
		<b>MTL</b>	METAL		
		<b>MULL</b>	MULLION		
		<b>N</b>			





2 SITE PLAN  
1" = 20'-0"



KCHA  
CEDAR  
GROVE  
ROOF  
REPLACEMENT-  
BUILDING C

PERMIT SET

622-630 JENNINGS ST  
SEDRO-WOOLEY, WA 98284

Drawn by: NA  
Checked: LJ  
Date: 09/04/2024  
Scale: 1" = 20'-0"

No.	Date	Remarks
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**GENERAL NOTES**

1. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS TO AVOID DAMAGE AND/OR DISTURBANCE TO SUCH UTILITIES, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.

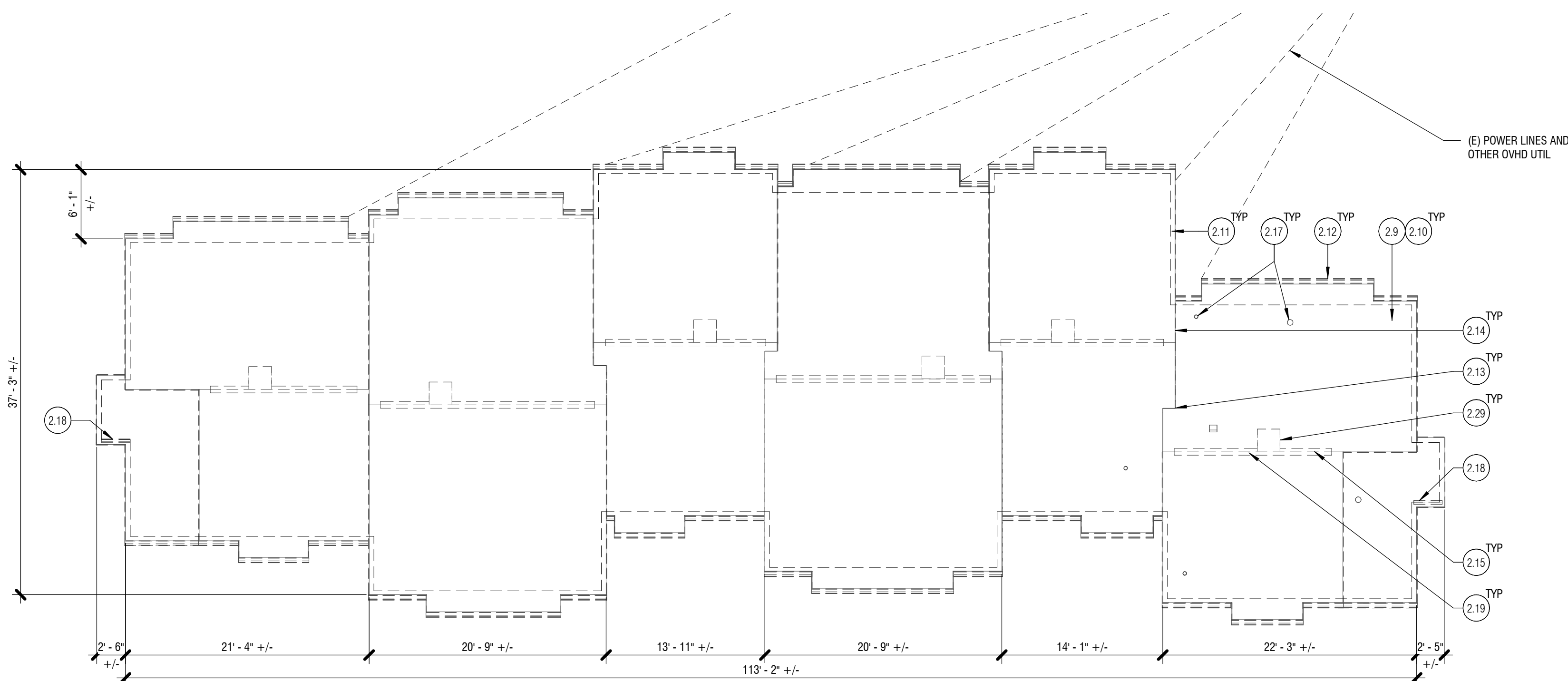
**TREE PROTECTION & VEGETATION REMOVAL**

- THE CONTRACTOR SHALL PRESERVE ONSITE VEGETATION TO THE MAXIMUM EXTENT POSSIBLE.
- NOT ALL MINOR LANDSCAPING AND HEDGES ARE SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO BIDDING AND MUST PROTECT THOSE CONDITIONS DURING CONSTRUCTION.
- ALL LANDSCAPE / UNIMPROVED AREAS TO BE DISTURBED SHALL BE RESTORED TO THEIR EXISTING CONDITIONS.
- OWNER WILL PROVIDE TREE PRUNING AS NECESSARY.

**TEMPORARY EROSION AND SEDIMENT CONTROL**

- THE CONTRACTOR SHALL CONDUCT WORK AND TAKE PREVENTATIVE MEASURES SUCH THAT DUST OR OTHER PARTICULATE MATTER IN THE PROJECT AREA SHALL NOT BECOME OBJECTIONABLE TO THE OWNER AND THAT THE CONSTRUCTION SITE MEETS THE REQUIREMENTS OF REGULATIONS 1 AND 2 OF THE PUGET SOUND AIR POLLUTION CONTROL AUTHORITY.
- PROPER EROSION AND SEDIMENT CONTROL PRACTICES MUST BE USED ON THE CONSTRUCTION SITE AND ADJACENT AREAS TO PREVENT UPLAND SEDIMENTS FROM ENTERING THE NATURAL STORM WATER DRAINAGE SYSTEM. EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS BEYOND THE SCOPE OF WORK TO THEIR EXISTING CONDITION OR BETTER. HYDROSEED ALL GRASS AREAS DISTURBED.

SITE PLAN  
A1.0



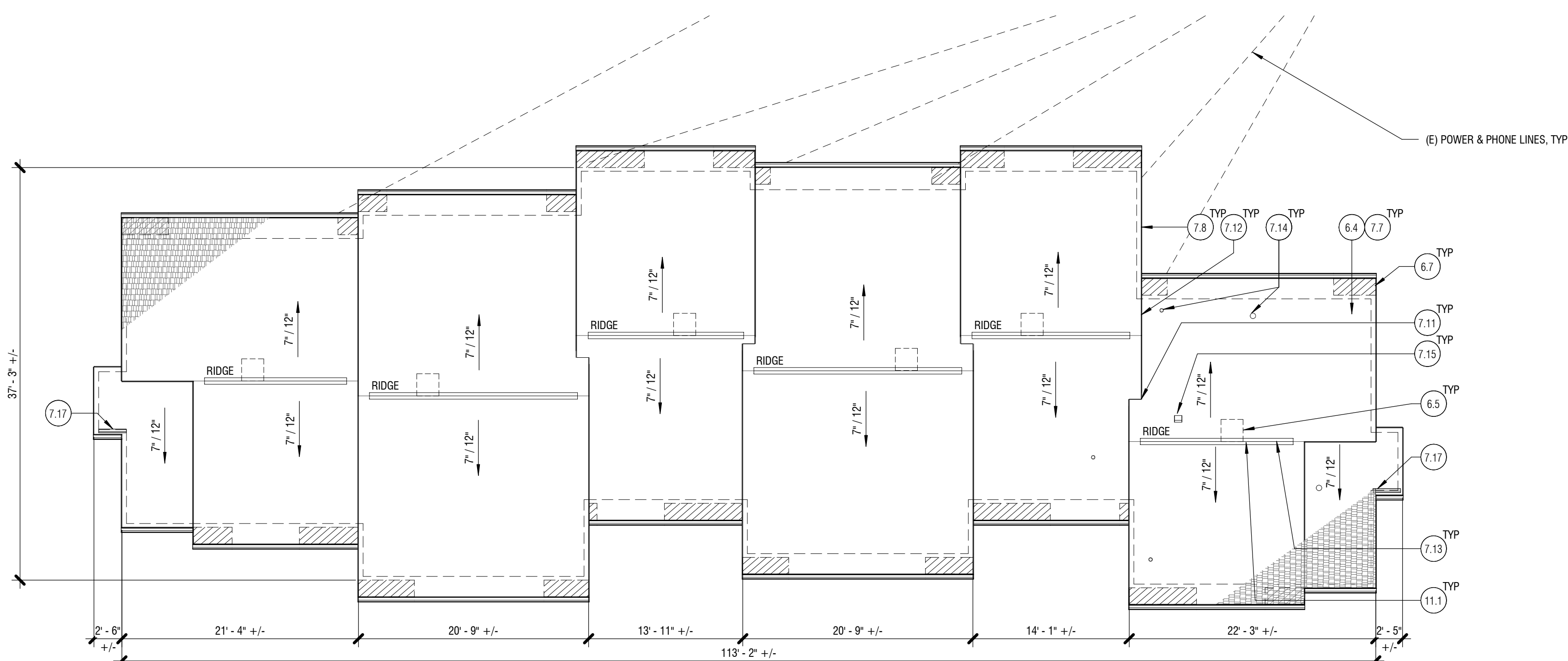
**DEMO LEGEND:**

- DEMOLISH
- (E) WALL

**GENERAL NOTES:**

1. IF WATER DAMAGE IS OBSERVED IN THE COURSE OF THE PROJECT, NOTIFY OWNER IMMEDIATELY.
2. ALL DIMENSIONS ARE APPROXIMATE. VERIFY IN FIELD.

1 ROOF DEMO PLAN - BLDG C  
1/8" = 1'-0"



**IBC 1203.2 - ROOF VENTILATION:**

**ROOF**  
AREA = 3,317 SF = 477,648 SQ. IN.  
1/150 X 477,648 SQ. IN. = 3,184 SQ. IN. NFVA  
REQUIRED RIDGE VENT AREA = 50% X 3,184 SQ. IN. = 1,592 SQ. IN. NFVA  
PROPOSED RIDGE VENT: COR-A-VENT V-600 = 20 SQ. IN. NFVA PER LF  
1,592 SQ. IN. NFVA / 20 SQ. IN. NFVA PER LF = **80 LF NEEDED (-92 LF PROVIDED)**

REQUIRED INTAKE VENT AREA @ EAVE = 1,592 SQ. IN. NFVA  
PROPOSED EAVE VENT: COR-A-VENT RS400 = 10 SQ. IN. NFVA PER LF  
1,592 SQ. IN. NFVA / 10 SQ. IN. NFVA PER LF = **159 LF NEEDED (-226 LF PROVIDED)**

**PLAN LEGEND:**

- (E) WALL BELOW
- INSTALL OUTRIGGER TO CREATE CONTINUOUS ROOF OVERHANG ALONG LENGTH OF (E) BUILDING, ALIGN WITH (E) EAVE OVERHANG

**GENERAL NOTES:**

1. PATCH, REPAIR, AND PAINT INTERIOR GWB DAMAGED DURING CONSTRUCTION.

2 ROOF PLAN - BLDG C  
1/8" = 1'-0"

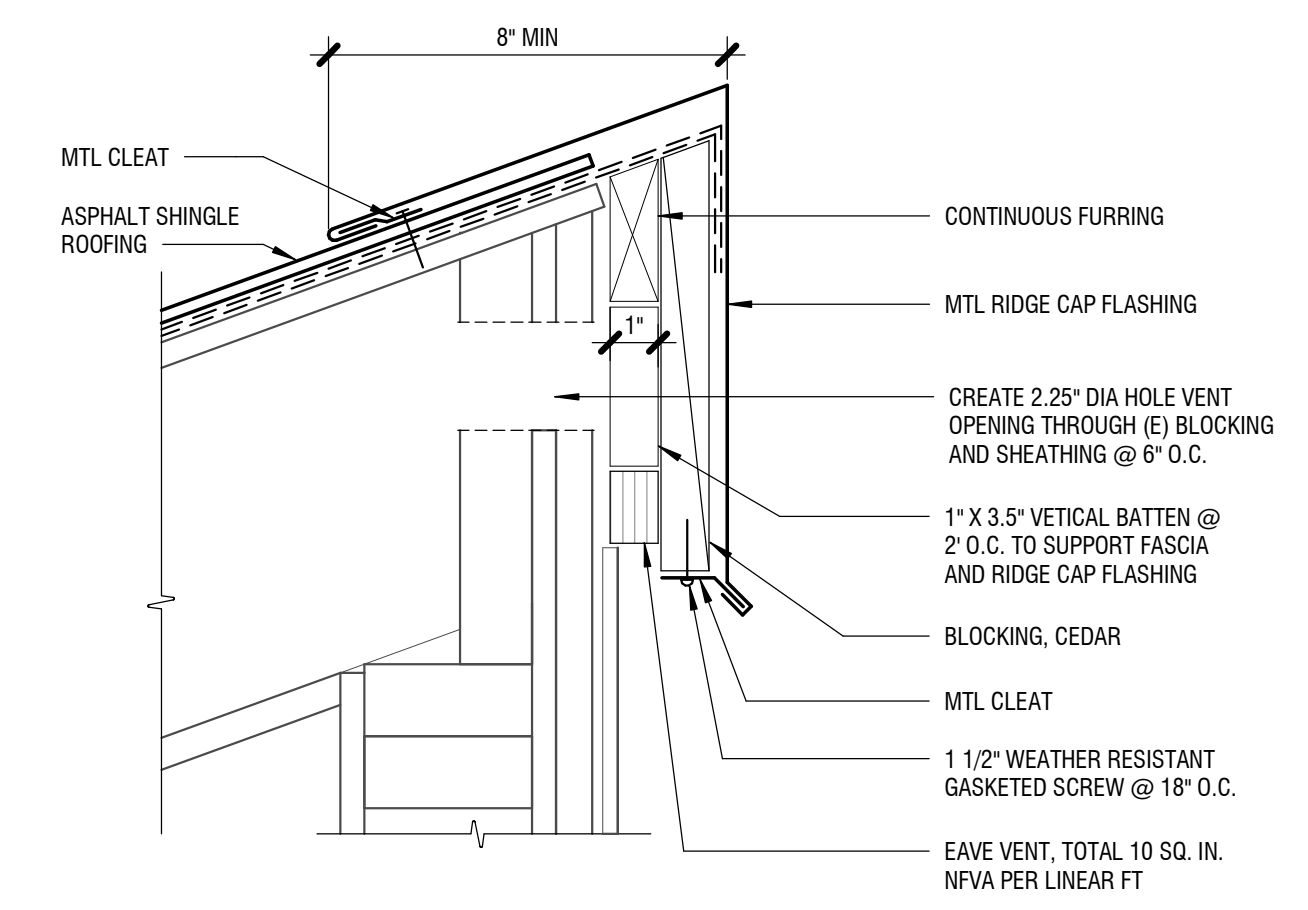
KEYNOTE LEGEND	
MARK	KEYNOTE TEXT
2.9	REMOVE (E) COMPOSITE ROOFING, UNDERLAYMENT, AND ASSOCIATED FLASHINGS
2.10	REVIEW EXTENT OF DAMAGED SHEATHING W/ OWNER PRIOR TO REPLACING (E) DAMAGED ROOF SHEATHING
2.11	REMOVE (E) FASCIA AND BARGE BOARD AND SOFFIT
2.12	REMOVE (E) GUTTERS AND DOWNSPOUT
2.13	REMOVE (E) METAL VALLEY FLASHING
2.14	REMOVE (E) STEP FLASHING
2.15	REMOVE (E) RIDGE VENT
2.17	REMOVE (E) PIPE BOOT AND FLASHING
2.18	REMOVE (E) RAIN DIVERTER
2.19	REMOVE (E) FALL PROTECTION SYSTEM
2.29	REMOVE (E) ROOF RIDGE VENT STRUCTURE, FLUSH WITH SLOPE OF ADJACENT ROOF
6.4	REPLACE (E) DAMAGED ROOF SHEATHING, ASSUME (10) 4x8 SHEETS TO BE REPLACED AT EACH BUILDING
6.5	INFILL W/ SHEATHING AT ABANDONED PENETRATION OPENING
6.7	INSTALL OUTRIGGER TO CREATE CONTINUOUS ROOF OVERHANG ALONG LENGTH OF (E) BUILDING, ALIGN WITH (E) EAVE OVERHANG, REF 2 / A6.1
7.7	FIBERGLASS REINFORCED ASPHALT SHINGLES ON (2) LAYERS OF SYNTHETIC UNDERLAYMENT, REF ROOF ASSEMBLY A6.1
7.8	FIBER CEMENT FASCIA AND BARGE BOARD AND SOFFIT, REF 2 / A6.1
7.11	FULLY-SOLDERED STAINLESS STEEL VALLEY FLASHING, EXTEND PAST TRANSITION POINT. RETURN DOWN BOTH ENDS WITH FLANGES INTEGRATED IN SHINGLE FASHION, REF 6 / A6.2
7.12	STEP FLASHING AT WALL TO ROOF TRANSITION, REF 4 / A6.1
7.13	RIDGE VENT AT (E) OPENING, REF 3 / A6.2
7.14	PIPE FLASHING AT (E) VENT PENETRATION, REF 7 / A6.2
7.15	ROOF VENT CAP AT EXISTING PENETRATION, REF 4 / A6.2
7.17	ROOF MOUNTED STAINLESS STEEL OR COATED ALUMINIUM METAL RAIN DIVERTER, 36" W/ EXPOSED HEMMED EDGE. MOUNT ON SECOND TO BOTTOM ROW OF SHINGLES, ROOFING CEMENT AT EACH NAIL AND DIVERTER
11.1	FALL PROTECTION SYSTEM REF 3 / A6.2

KCHA  
CEDAR  
GROVE  
ROOF  
REPLACEMENT-  
BUILDING C  
PERMIT SET

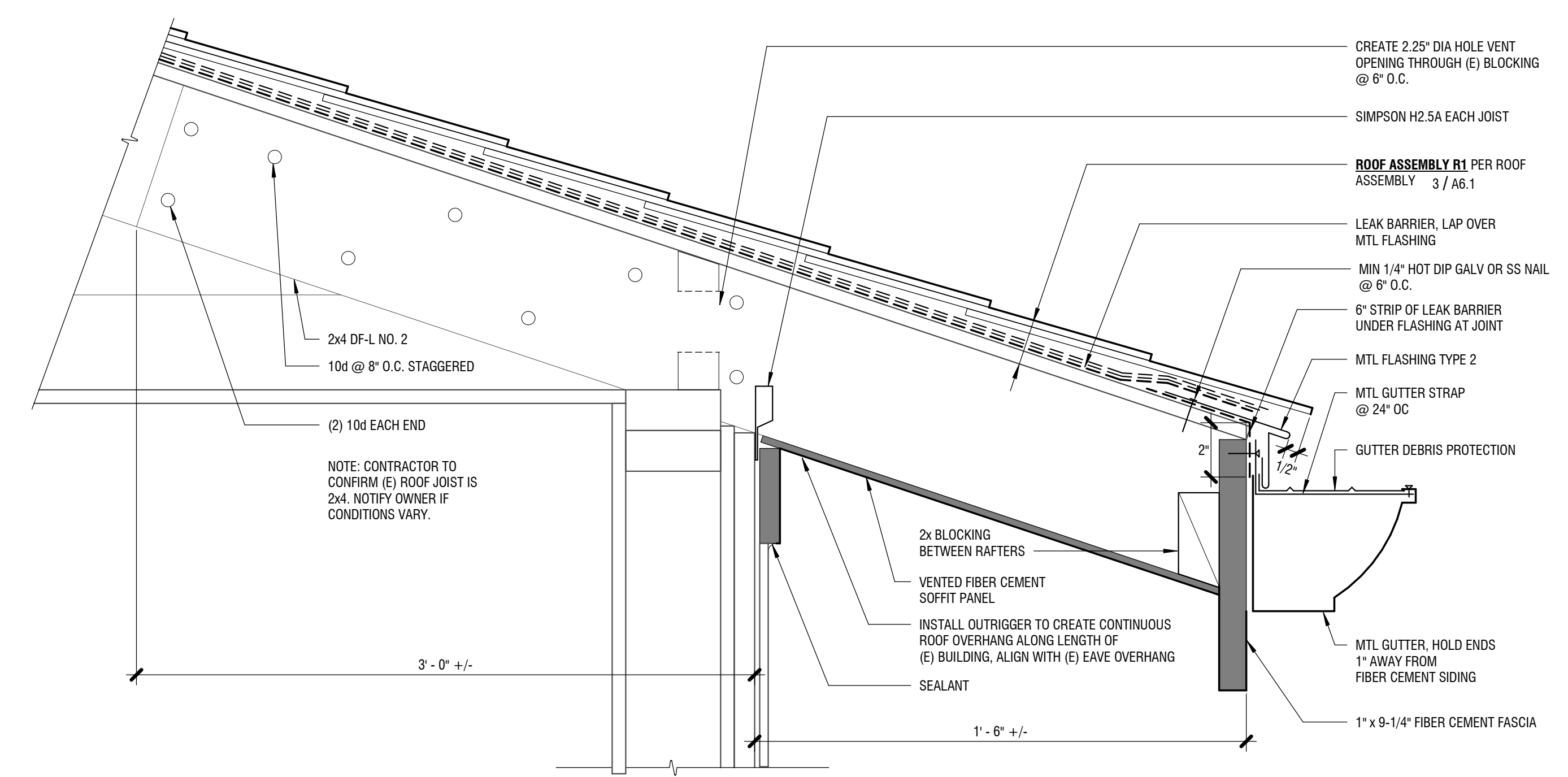
622-630 JENNINGS ST  
SEDRO-WOOLEY, WA 98284

Drawn by: NA  
Checked: LJ  
Date: 09/04/2024  
Scale: As indicated  
Revisions:  
No. Date Remarks

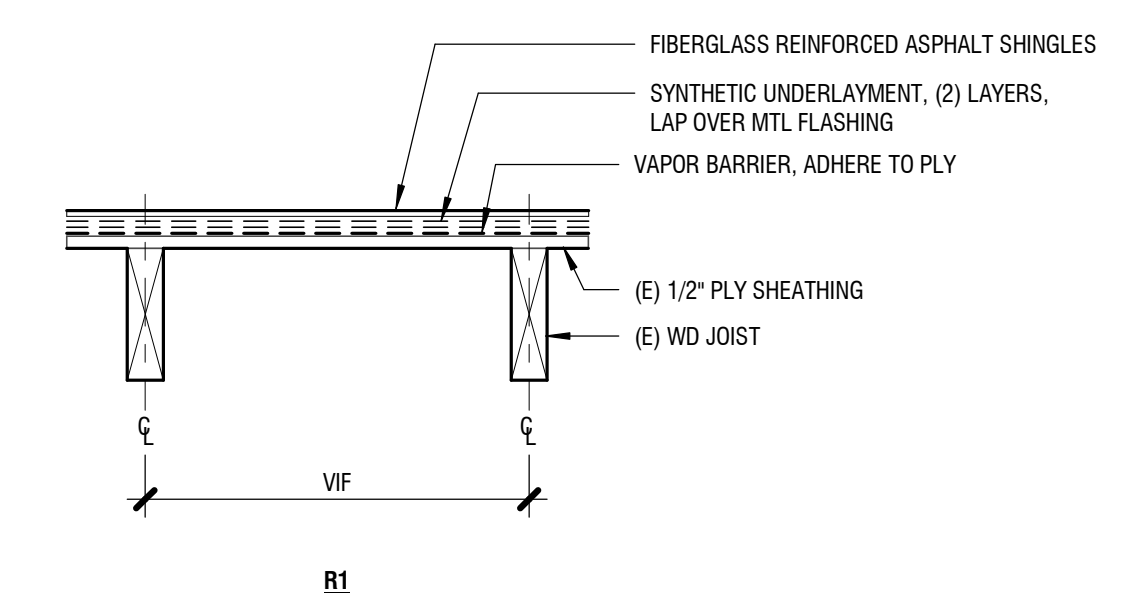
ROOF PLANS -  
BLDG C  
A2.3C



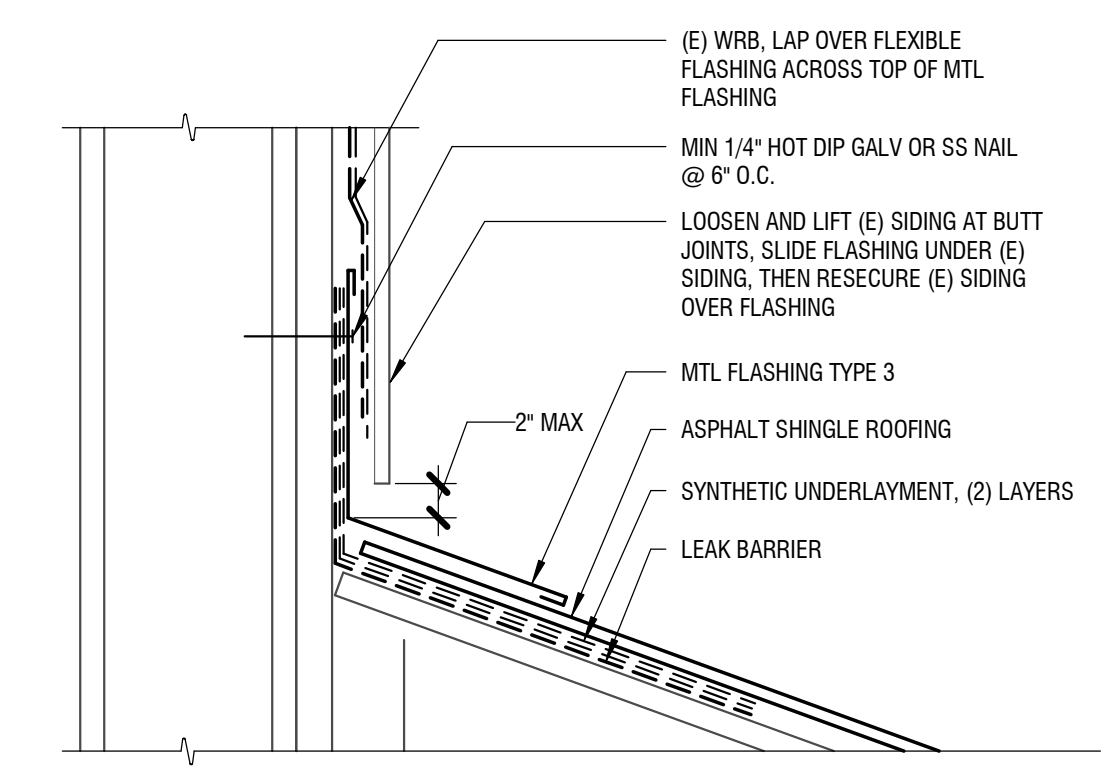
1 TOP OF WALL  
3" = 1'-0"



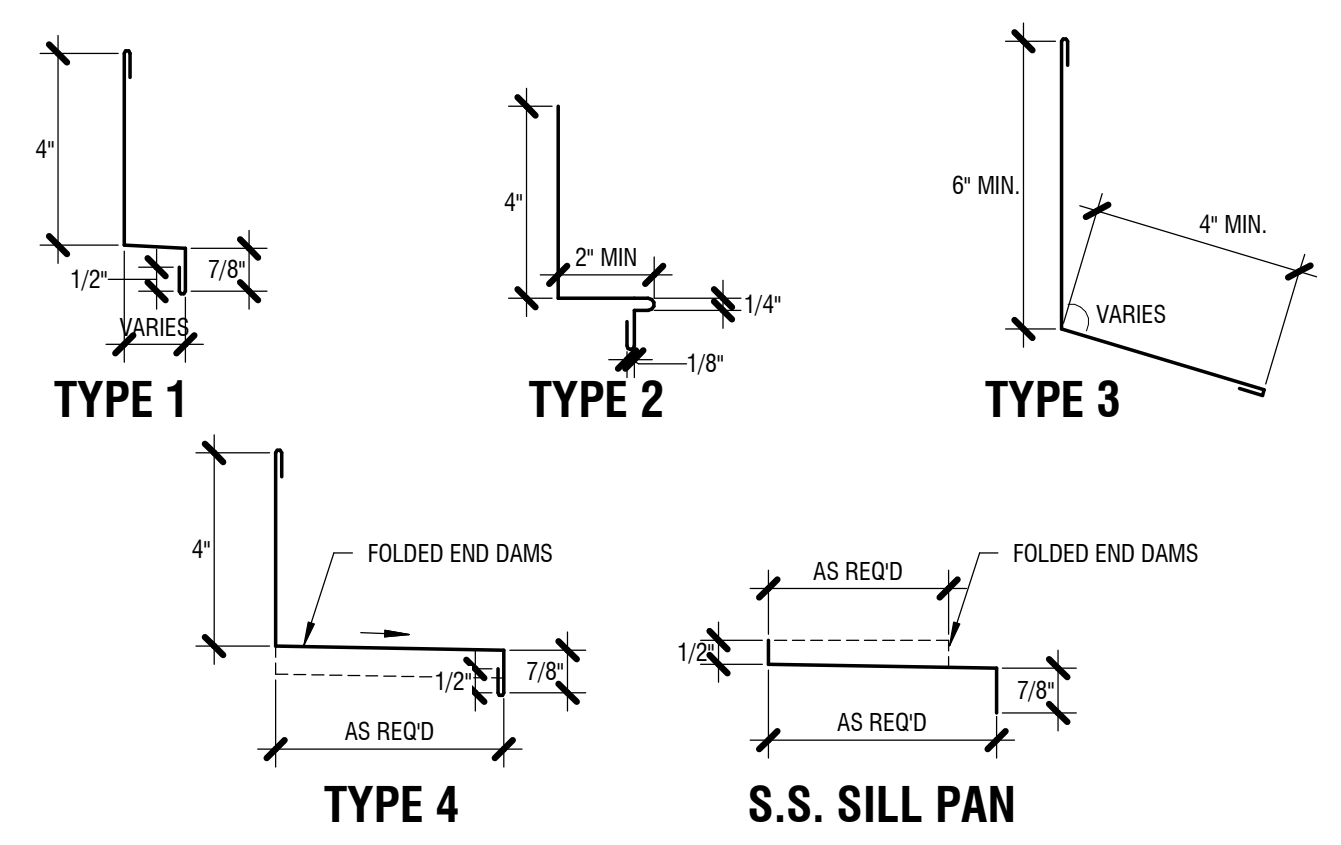
2 ROOF EAVE OVERHANG AND GUTTER  
3" = 1'-0"



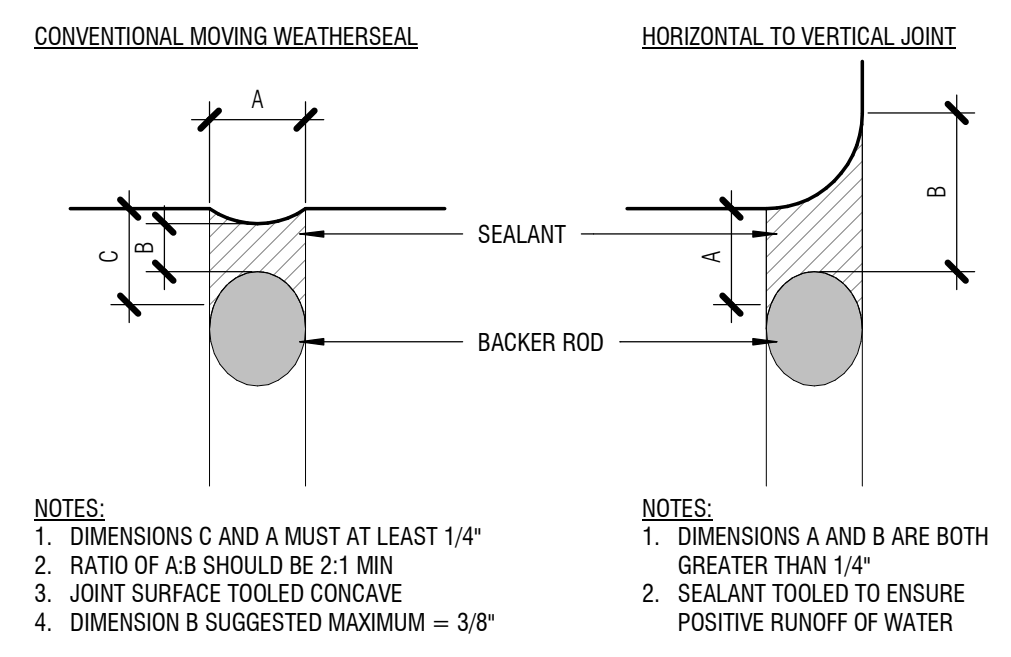
3 ROOF ASSEMBLY  
1 1/2" = 1'-0"



4 WALL - ROOF TRANSITION  
3" = 1'-0"



5 FLASHING TYPES  
3" = 1'-0"



6 SEALANT JOINT & BACKER ROD  
3" = 1'-0"

KCHA  
CEDAR  
GROVE  
ROOF  
REPLACEMENT-  
BUILDING C

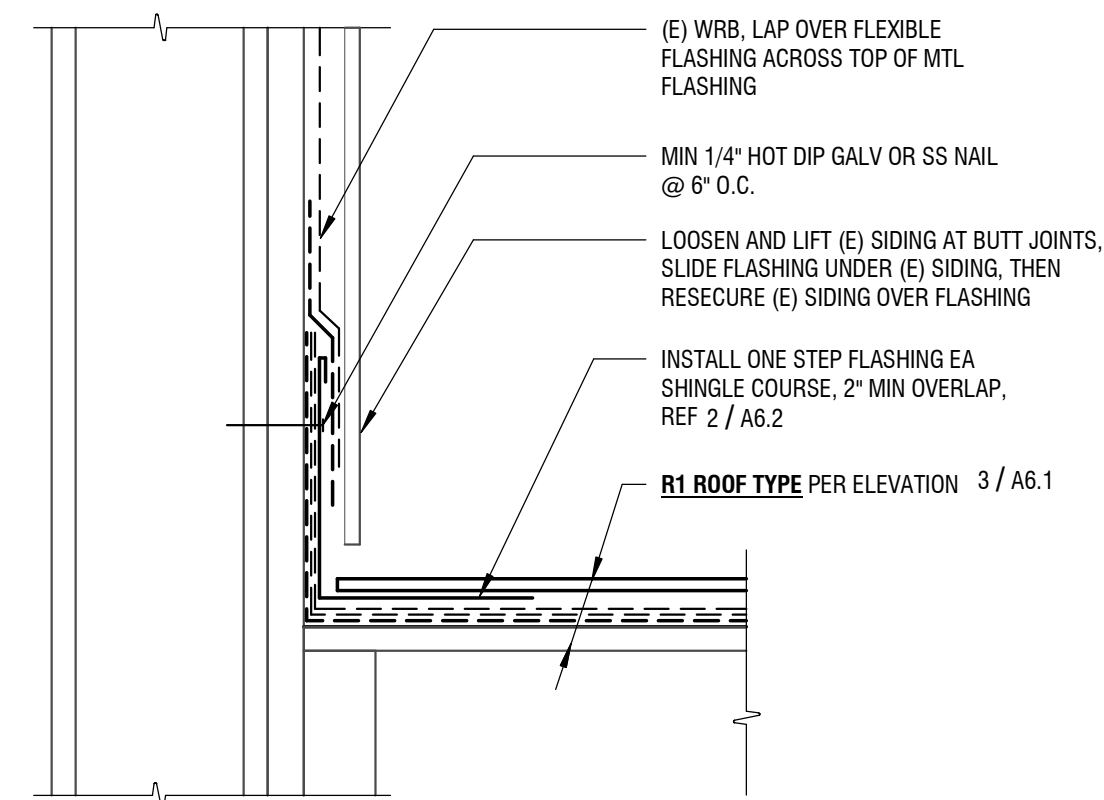
PERMIT SET

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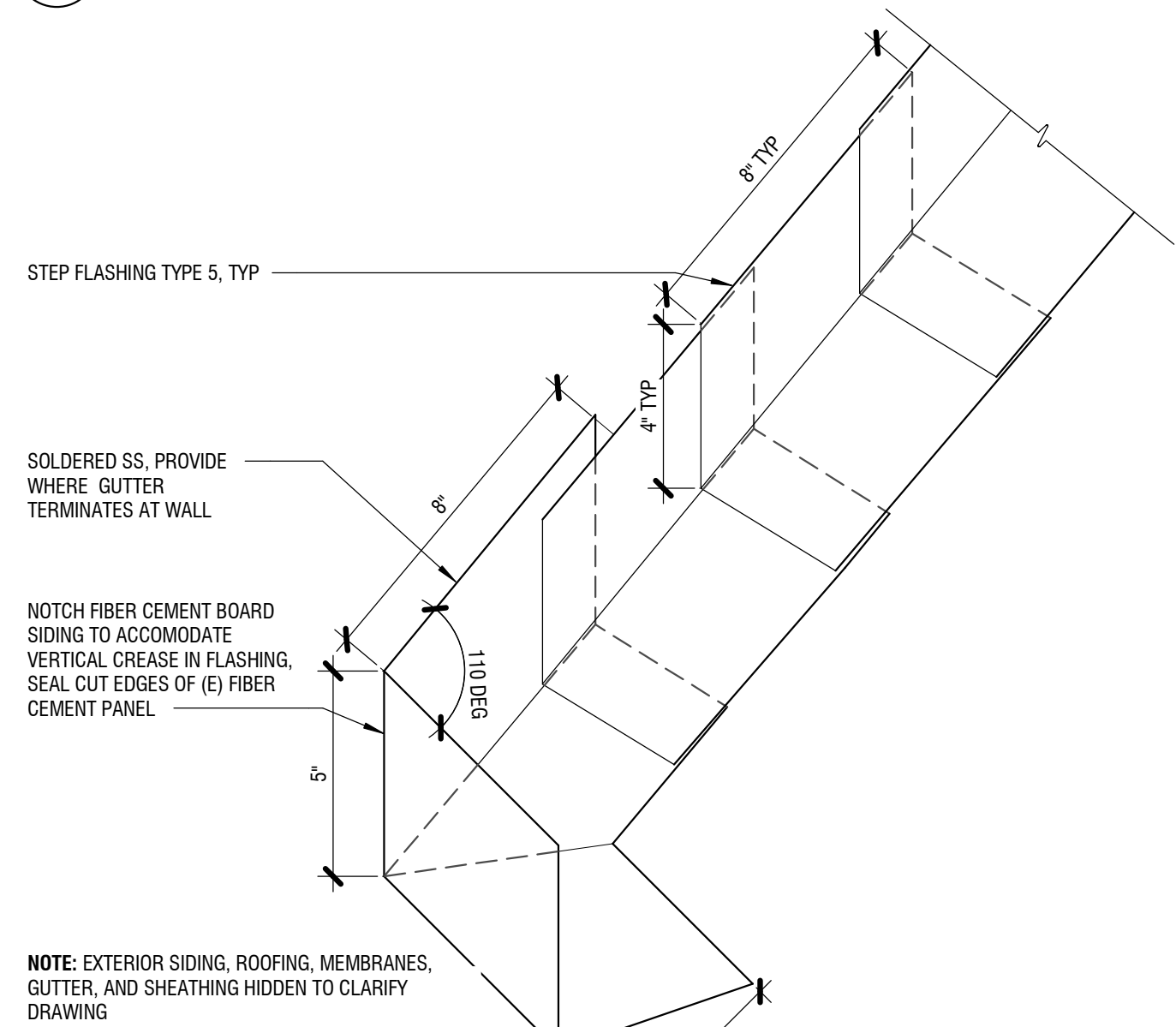
Drawn by:	NA	
Checked:	LJ	
Date:	09/04/2024	
Scale:	As indicated	
Revisions:		
No.	Date	Remarks

EXTERIOR  
DETAILS  
A6.1

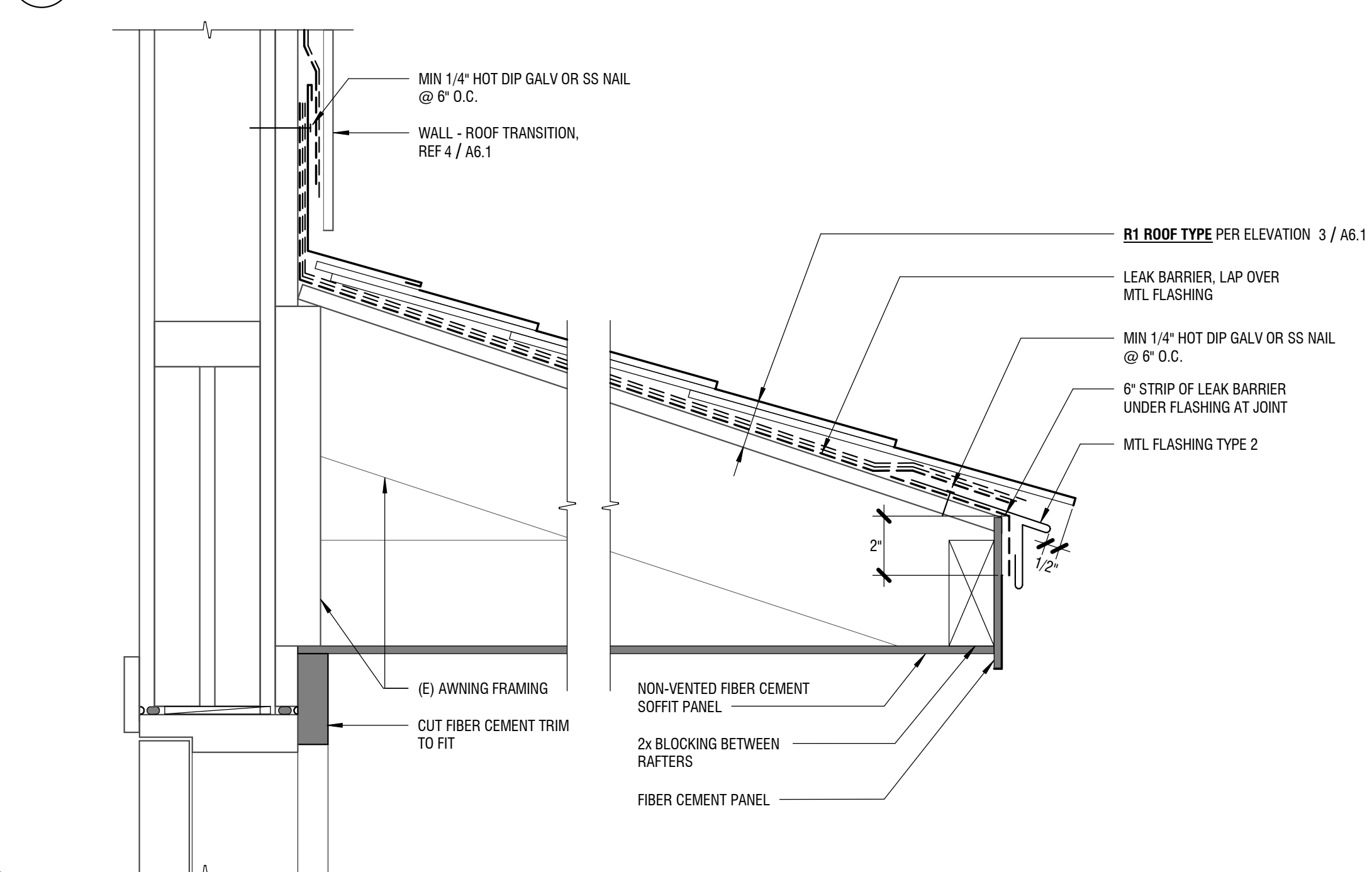




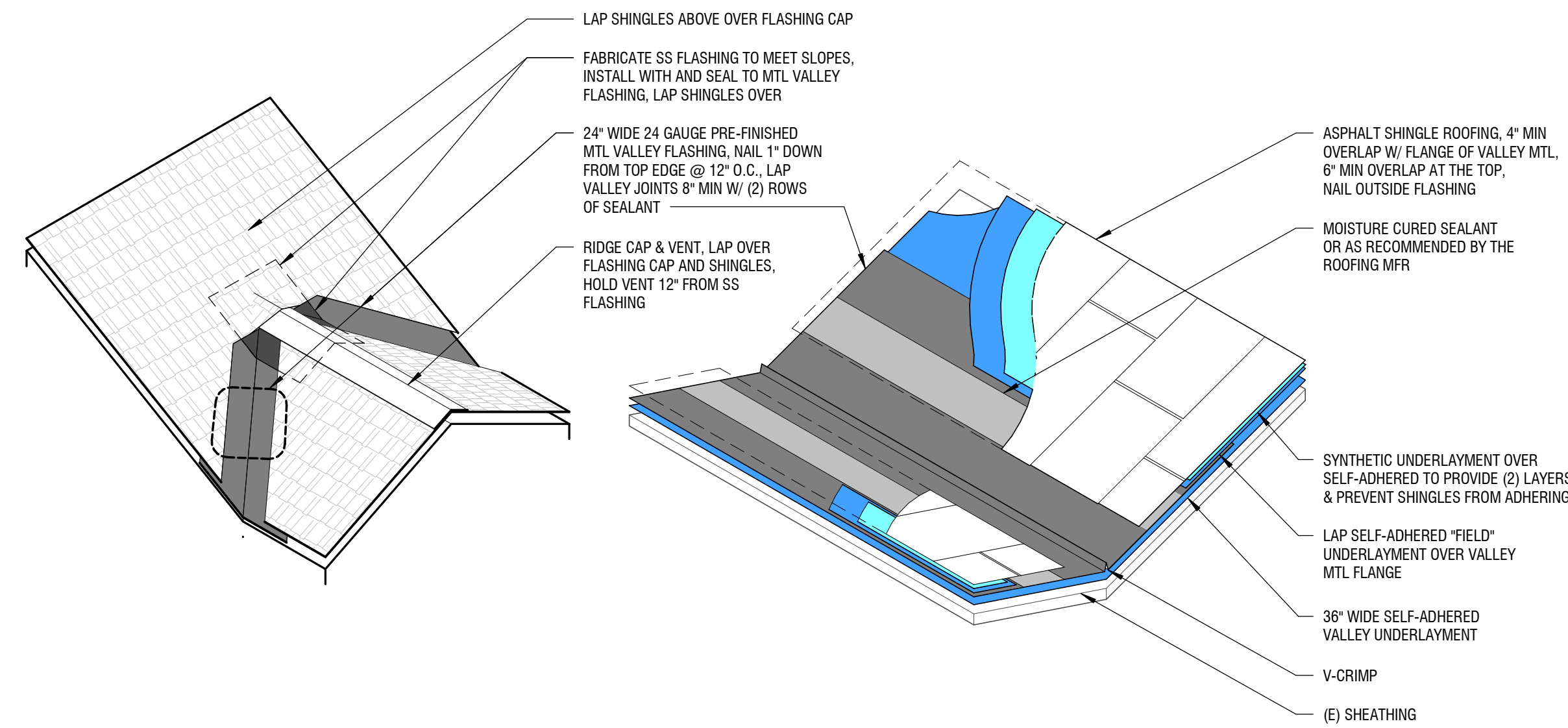
1 ROOF TO WALL TRANSITION  
3" = 1'-0"



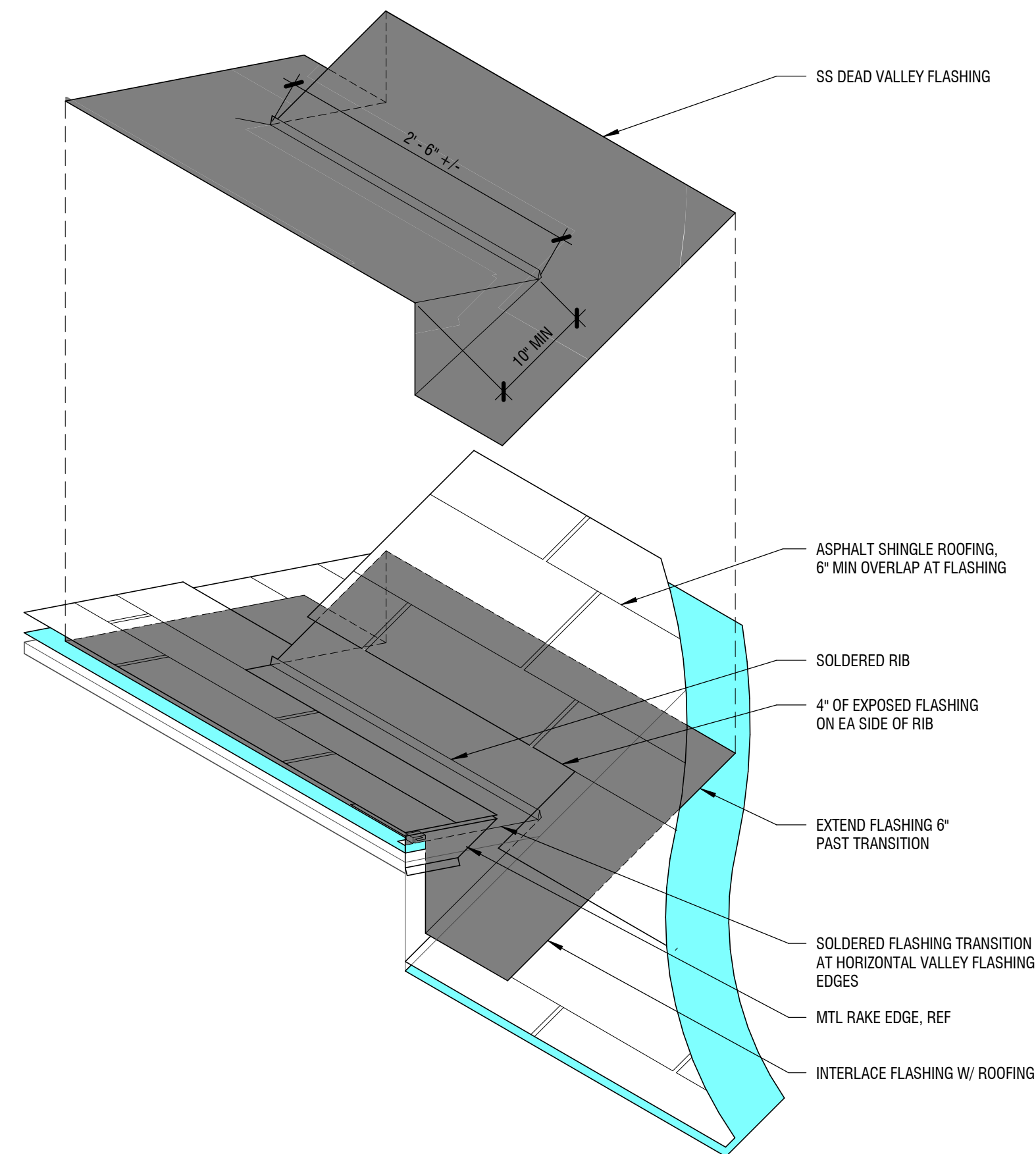
2 STEP FLASHING  
3" = 1'-0"



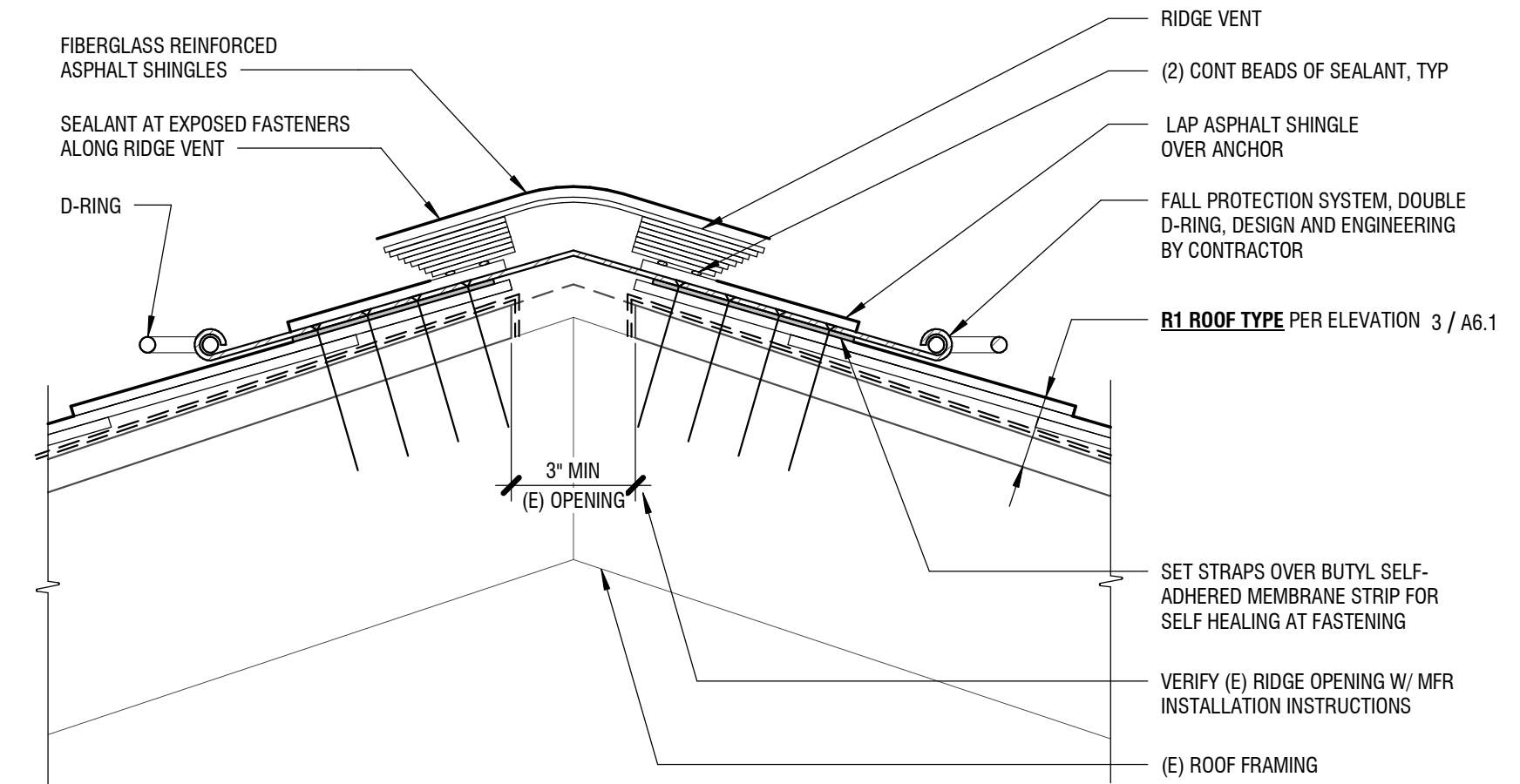
5 UNIT ENTRY AWNING  
3" = 1'-0"



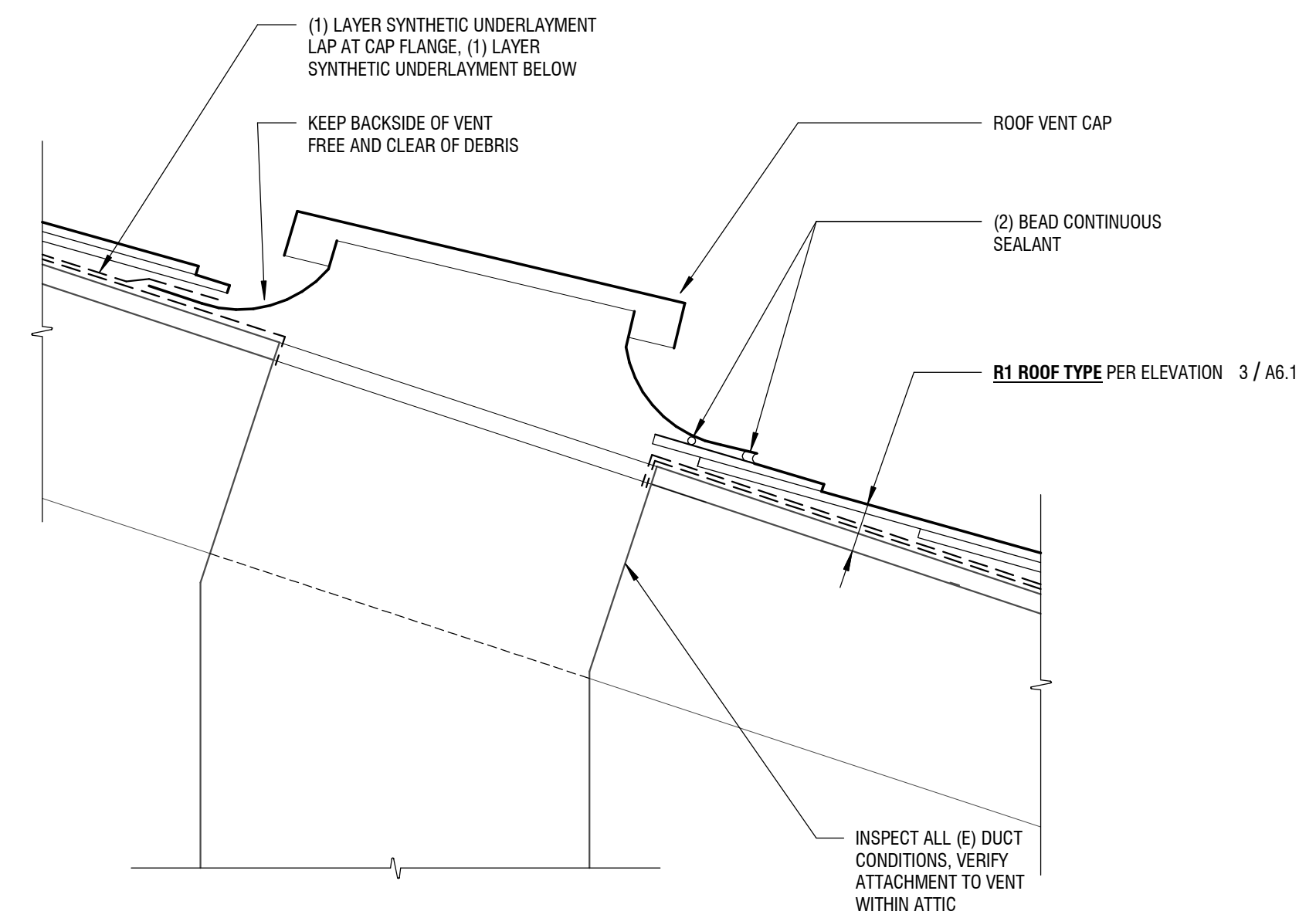
8 VALLEY FLASHING TRANSITION  
NTS



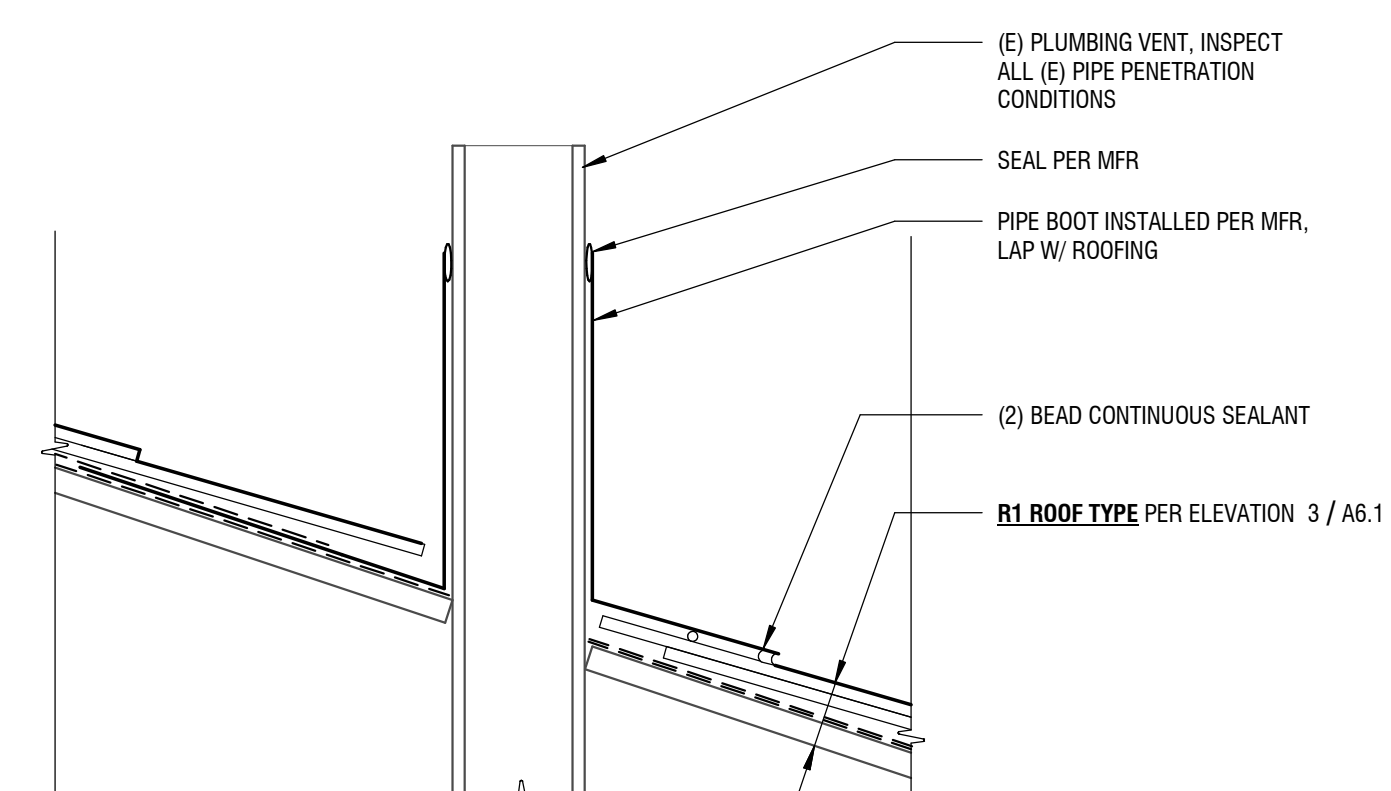
6 HORIZONTAL VALLEY FLASHING TRANSITION  
1 1/2" = 1'-0"



3 RIDGE VENT & FALL PROTECTION SYSTEM  
3" = 1'-0"



4 STATIC ROOF VENT FLASHING  
3" = 1'-0"



7 PLUMBING VENT FLASHING  
3" = 1'-0"

KCHA  
CEDAR  
GROVE  
ROOF  
REPLACEMENT-  
BUILDING C

PERMIT SET

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EXTERIOR  
DETAILS  
A6.2