

KING COUNTY HOUSING AUTHORITY

JUANITA COURT PAVING IMPROVEMENTS

PROJECT INFORMATION

PROJECT DESCRIPTION

OVERLAY EXISTING ASPHALT DRIVEWAY AND PARKING LOT (APPROX. 2,820 SY), PROVIDE ASPHALT REPAIR (APPROX. 340 SY), REPLACE EXTRUDED CURB (APPROX. 535 LF), AND REPLACE CONCRETE WALKWAY (APPROX. 65 SY).

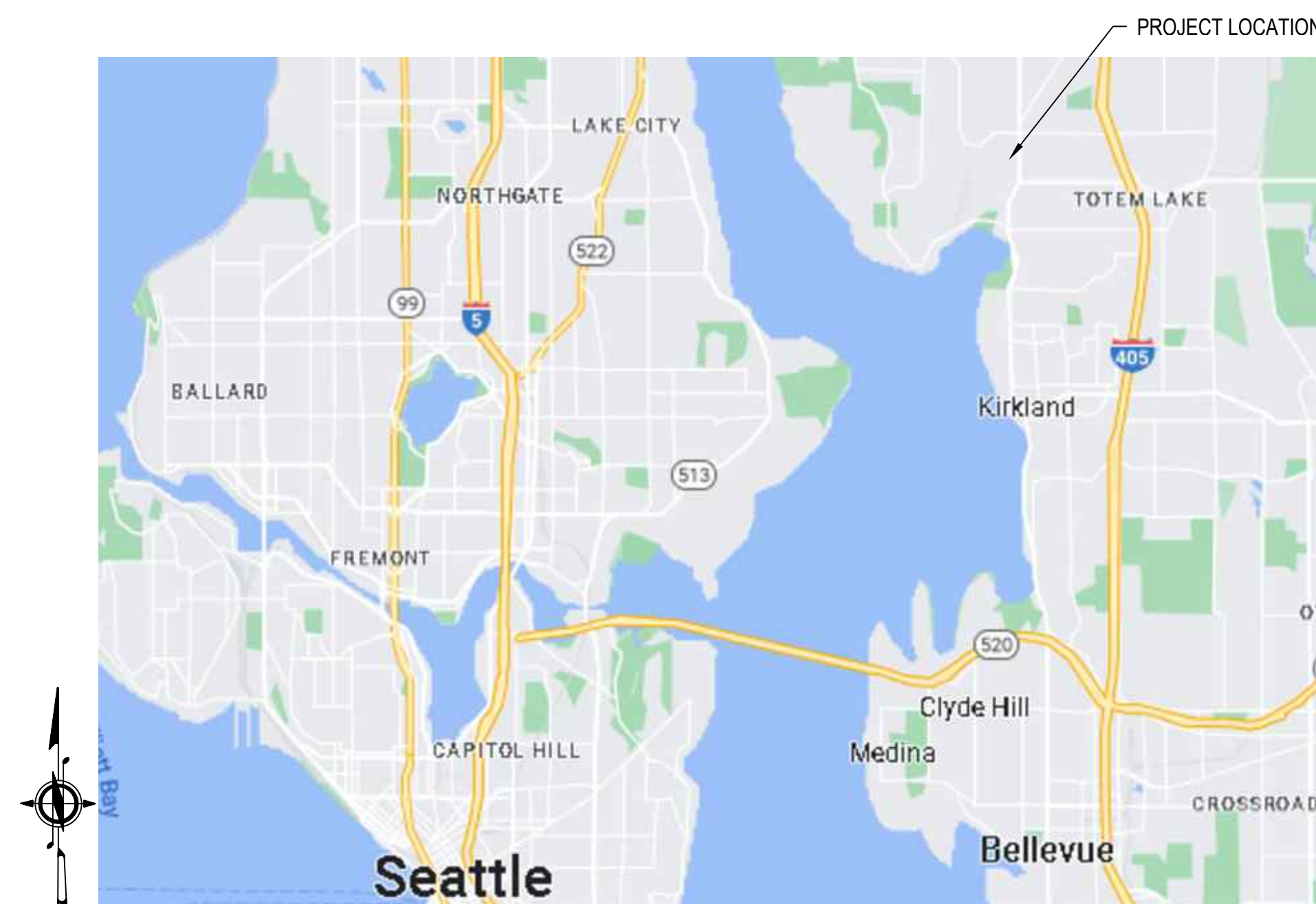
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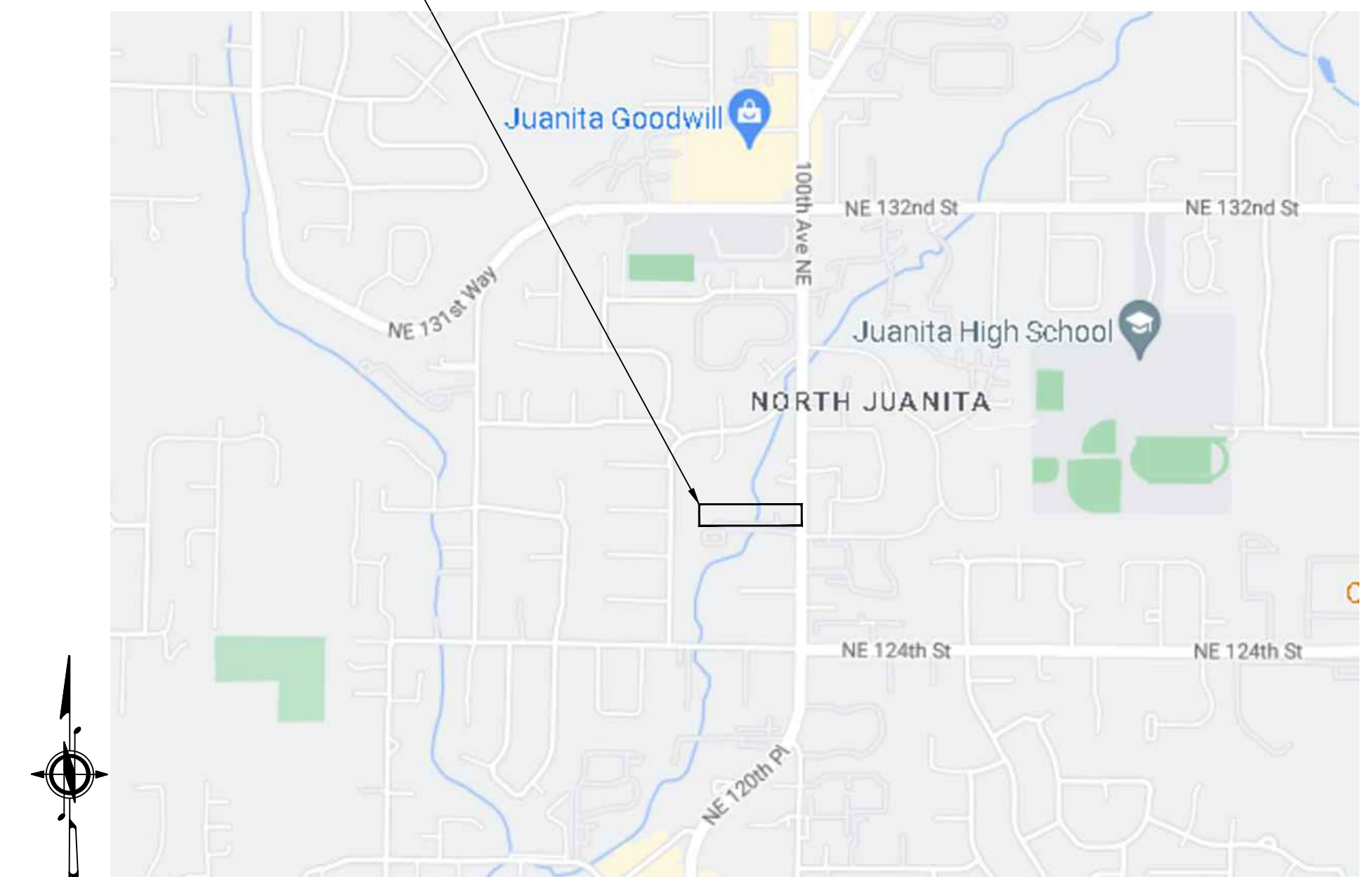
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NORTHSHORE UTILITY DISTRICT	(425) 398-4400
CENTURY LINK	(800) 573-1311
COMCAST	(800) 244-1111
FRONTIER	(877) 462-8188
ONE-CALL UTILITY LOCATE	811



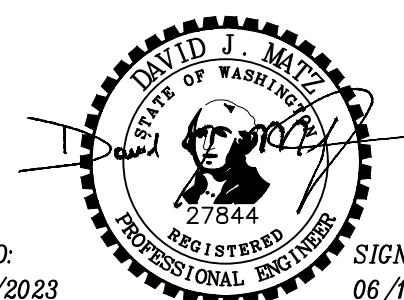
VICINITY MAP
NTS

PROJECT LOCATION
(9926 NE 126TH ST)
PARCEL # 302605-9096



PROJECT AREA
NTS

CONSTRUCTION SET



GENERAL NOTES

IF A CONFLICT OCCURS BETWEEN DESIGN/CONSTRUCTION DOCUMENTS, THE PROJECT SCOPE OF WORK WILL TAKE PRECEDENCE OVER THE SPECIFICATIONS, AND THE SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE CONSTRUCTION DRAWINGS.

THE SITE WILL BE OCCUPIED DURING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT EQUIPMENT AND MATERIALS AGAINST DAMAGE AND LOSSES. THE CONTRACTOR IS RESPONSIBLE FOR THE STORAGE OF EQUIPMENT AND MATERIALS IN A SECURE MANNER SO THAT PERSONAL INJURIES TO THE BUILDING'S OCCUPANTS DOES NOT OCCUR.

THE CONTRACTOR SHALL ENSURE SAFE WORKING CONDITIONS PER OSHA, WISHA AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL PROVIDE SHORING OR TRENCH SAFETY DEVICES. THE CONTRACTOR SHALL FOLLOW OSHA AND WISHA REGULATIONS WHEN EXCAVATING AROUND ELECTRICAL UTILITIES.

CALL 811 48 HOURS BEFORE CONSTRUCTION FOR UTILITY LOCATIONS. CONTRACTOR SHALL MAKE NECESSARY ARRANGEMENTS TO LOCATE ALL UTILITIES OUTSIDE THE PUBLIC RIGHT-OF-WAY. NO ADDITIONAL PAYMENT WOULD BE MADE FOR PRIVATE LOCATES. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC AND PRIVATE UTILITY LOCATES.

LOADS SHALL BE SECURED PER RCW 46.61.655.

A COPY OF THE CITY APPROVED PLANS MUST BE KEPT ON-SITE WHENEVER CONSTRUCTION IS IN PROGRESS.

THE OWNER WILL PROVIDE A CIVIL CONSTRUCTION PERMIT FROM THE CITY OF KIRKLAND. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY ADDITIONAL REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION INCLUDING ROW PERMIT.

ALL MATERIALS, WORKMANSHIP, ALIGNMENT ADJUSTMENTS AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, THE SPECIFICATIONS, THE INTERNATIONAL BUILDING CODE, AND TO THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, 2018 EDITION, AS ISSUED BY THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND THE AMERICAN PUBLIC WORKS ASSOCIATION, EXCEPT AS MODIFIED BY THE PROJECT SPECIFICATIONS.

THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED ILLUSTRATIVE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN TO AVOID DAMAGE AND/OR DISTURBANCE TO SUCH UTILITIES, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN. IT IS UNKNOWN IF ADDITIONAL UTILITIES EXIST ON-SITE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK, INCLUSIVE OF: ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR.

PRE-CONSTRUCTION CONFERENCE AND 24-HOUR NOTICE WILL BE REQUIRED PRIOR TO STARTING CONSTRUCTION.

SURVEY AND SITE INFORMATION

DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ENGINEER.

NOT ALL MINOR LANDSCAPING AND HEDGES ARE SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO BIDDING AND MUST PROTECT THOSE CONDITIONS DURING CONSTRUCTION.

CONSTRUCTION SURVEY

THE ALIGNMENT SHOWN IN THE PLANS IS SCHEMATIC. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING VERTICAL ALIGNMENT OF PROPOSED IMPROVEMENTS. THE CONTRACTOR MAY MODIFY PROPOSED ALIGNMENTS WITH PRIOR OWNER'S AUTHORIZATION. ALL ADJUSTMENTS SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDINGS AND SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING AND MAINTAINING ALL ALIGNMENT STAKES, SLOPE STAKES, AND GRADES NECESSARY FOR CONSTRUCTION. STAKING FOR GRADES AND ALIGNMENT SHALL BE PERFORMED BY AN ENGINEERING OR SURVEYING FIRM CAPABLE OF PERFORMING SUCH WORK. EXCEPT FOR THE SURVEY CONTROL DATA FURNISHED BY THE OWNER, CALCULATIONS, SURVEYING, AND MEASURING REQUIRED FOR SETTING AND MAINTAINING THE NECESSARY LINES AND GRADES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

THE CONTRACTOR IS REQUIRED TO CONDUCT A PRELIMINARY SURVEY PRIOR TO CONSTRUCTION COLLECTING ELEVATIONS OF EXISTING PAVING AND CURBING. POINTS COLLECTED MUST BE SUFFICIENT TO REPRESENT THE GENERAL ELEVATION AND SLOPE ALONG EXISTING PAVING AND CURBING. THE CONTRACTOR IS REQUIRED TO CONDUCT A SIMILAR SURVEY FOLLOWING THE COMPLETION OF THE PROJECT TO ENSURE THE ELEVATION AND SLOPES OF FINISHED PAVING AND CURBING HAVE REMAINED THE SAME.

THE CONTRACTOR IS REQUIRED TO PREPARE A COMPLETE SET OF AS-BUILT RECORDS, BASED UPON FIELD SURVEY RECORDS COMPLETED AFTER CONSTRUCTION.

MATERIALS

THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXCAVATED MATERIALS AS PART OF THE EXCAVATION ACTIVITIES. NO ADDITIONAL PAYMENT WOULD BE MADE FOR THE REMOVAL OF ROCKS.

THE CONTRACTOR SHALL PROVIDE PROPOSED MATERIALS FOR TESTING AND APPROVAL FOR USE TWO WEEKS PRIOR TO PLACEMENT.

DAILY CLEANUP

THE CONTRACTOR SHALL CLEANUP ALL AREAS AFFECTED BY HIS ACTIVITIES TO THE SATISFACTION OF THE OWNER BY THE END OF EACH WORKING DAY OR MORE FREQUENTLY IF REQUIRED BY THE OWNER. THIS INCLUDES REMOVAL OF ALL DUST, CONSTRUCTION SPOILS, MUD, ROCKS, ASPHALT DEBRIS, AND REFUSE FROM STREETS, SIDEWALKS, COURTYARDS, DRIVEWAYS, AND ANY OTHER AREAS AFFECTED BY THE CONSTRUCTION ACTIVITIES. FAILURE TO CLEANUP TO THE SATISFACTION OF THE OWNER WILL NECESSITATE A SHUTDOWN OF THE PROJECT UNTIL CLEANUP IS PROPERLY PERFORMED. DAILY CLEANUP IS AN INTEGRAL PART OF EROSION AND POLLUTION CONTROL.

GENERAL CONSTRUCTION NOTES

QUALITY OF WORK

FINISH QUALITY

THE CONTRACTOR SHALL PROTECT EXISTING AND PROPOSED IMPROVEMENTS THROUGHOUT THE DURATION OF THE PROJECT.

PRIOR TO PROCEEDING WITH WALKWAY'S POURS, THE CONTRACTOR SHALL PREPARE A TEST PANEL CONSISTING OF 30 LINEAL FEET INCLUDING CURB AND GUTTER ALONG WITH ADA RAMP. THE OWNER WILL INSPECT AND APPROVE THE QUALITY OF WORK (FINISHES). ONCE APPROVED, THE SAMPLE PANEL WILL BE USED AS A TEMPLATE FOR QUALITY CONTROL. THE OWNER WILL REJECT ANY WORK THAT DOES NOT MATCH THE WORKMANSHIP OF THE TEST PANEL. TEST PANEL DIMENSIONS SHALL BE AS APPROVED BY THE OWNER.

VERIFICATION OF ALIGNMENT

ALIGNMENT MAY BE ADJUSTED AS NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PROPOSED ALIGNMENT PRIOR TO COMMENCING ANY WORK.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ANY PROPOSED CHANGES IN THE ALIGNMENT. THE OWNER SHALL NOT BE RESPONSIBLE FOR ANY ISSUES THAT MAY ARISE AS A RESULT OF ANY CHANGES AND ADJUSTMENTS MADE BY THE CONTRACTOR.

FORMS PLACEMENT

THE CONTRACTOR SHALL DEMONSTRATE TO THE OWNER THAT CONCRETE FORMS HAVE BEEN PLACED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.

PRIOR TO POURING ANY CONCRETE, THE OWNER WILL OBSERVE AND VERIFY FORM PLACEMENT AS IT RELATES TO THE AGREED ALIGNMENT. THE CONTRACTOR WILL NOT BE ALLOWED TO POUR ANY CONCRETE ON THE SAME DAY THE FORMS ARE PLACED.

RESTORATION NOTES

THE CONTRACTOR MAY LEAVE TRENCH SECTION OPEN OVERNIGHT BUT SHALL COVER ALL TRENCH SECTIONS WITH STEEL SHEETS AT THE END OF THE WORK DAY. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE EVERY TIME THIS OCCURS.

THE TEMPORARY SURFACING SHALL BE MAINTAINED DAILY THROUGHOUT THE DURATION OF THE PROJECT TO PREVENT POTHOLING AND RUTS FROM FORMING. ALL POTHOLES, RUTS, AND BUMPS MUST BE REPAIRED IF THEY EXCEED ONE INCH IN DEPTH OR HEIGHT.

ALL AREAS WHERE VEGETATION IS TO BE REMOVED, VOIDS SHALL BE BACKFILL WITH NATIVE SOIL AS DIRECTED BY THE OWNER AND TOP 4 INCHES SHALL BE RESTORED WITH MULCH (WSDOT STD SPEC 9-14.4(3)).

COMPACTION OF BACKFILL

BACKFILL SHALL BE COMPACTED AS SHOWN IN THE PLANS AND STANDARD DETAILS USING THE MODIFIED PROCTOR TEST IN ACCORDANCE WITH ASTM D1557. BACKFILL COMPACTION WILL BE TESTED BY THE OWNER. SHOULD ANY COMPACTION TEST FAIL, THE CONTRACTOR SHALL TAKE THE NECESSARY CORRECTIVE MEASURES TO COMPLY WITH THE SPECIFICATIONS AND ALL ADDITIONAL COMPACTION COSTS SHALL BE AT THE CONTRACTOR'S EXPENSE.

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE FOR EMERGENCY VEHICLE ACCESS TO ALL PORTIONS OF THE SITE AT ALL TIMES.

THE CONTRACTOR SHALL RESTORE ACCESS TO ALL UNITS AND PARKING AREA BY THE END OF EACH WORK DAY.

THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN AND ASPHALT PHASING PLAN FOR OWNER'S APPROVAL. ALL TRAFFIC CONTROL DEVICES SHALL MEET THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) REQUIREMENTS. ALL BARRICADES SHALL HAVE AMBER FLASHING LIGHTS FOR USE AT NIGHT. SEE SPECIFICATIONS.

PEDESTRIAN TRAFFIC CONTROL

PEDESTRIAN ACCESS TO ALL UNITS SHALL BE PROVIDED AT ALL TIMES.

THE CONTRACTOR MAY CLOSE SIDEWALKS DURING CONSTRUCTION BUT MUST PROVIDE FOR SAFE PEDESTRIAN ACCESS TO ALL BUILDINGS AT ALL TIMES.

THE CONTRACTOR SHALL PROVIDE TEMPORARY CRUSHED SURFACING FOR ALL WALKWAYS AND COURTYARDS AFTER THE HARDSCAPE SURFACES HAVE BEEN REMOVED AND PRIOR TO REPLACING THEM.

THE CONTRACTOR SHALL PROVIDE FOR ALTERNATIVE PEDESTRIAN ROUTES AROUND PATHS THAT ARE TO BE REMOVED AND REBUILT.

THE CONTRACTOR SHALL PROVIDE BARRIERS AND SAFETY SIGNAGE AS NECESSARY TO PROTECT PEDESTRIANS FROM AREAS UNDER CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE THAT OCCURS DUE TO PEDESTRIANS TRESPASSING BARRIERS.

THE CONTRACTOR SHALL TAKE EXTRA CARE TO KEEP ALL PEDESTRIAN CROSSING AREAS FREE FROM CONSTRUCTION EQUIPMENT, MATERIALS, AND DEBRIS.

PARKING AND STAGING

THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE USE OF PARKING SPACES FOR STAGING AND DAILY CONSTRUCTION PARKING.

TREE PROTECTION & VEGETATION REMOVAL NOTES

THE CONTRACTOR SHALL PRESERVE ONSITE VEGETATION TO THE MAXIMUM EXTENT POSSIBLE, ESPECIALLY ON SLOPES.

ALL SCHEDULED LANDSCAPED / UNIMPROVED AREAS TO BE DISTURBED SHALL BE RESTORED AS SHOWN IN THE PLANS. NO ADDITIONAL PAYMENT WILL BE MADE FOR DISTURBED AREAS NOT SHOWN IN THE PLANS.

STANDARD TRENCHING MAY BE USED WITHIN THE PERIMETER CRITICAL ROOT ZONE (PCRZ) AND OUTSIDE THE INTERIOR CRITICAL ROOT ZONE (ICRZ).

IF ROOTS 2 INCHES OR LARGER ARE ENCOUNTERED WITHIN THE PCRZ, ALTERNATIVE TRENCHING TECHNIQUES SHALL BE USED. THESE INCLUDE TRENCHLESS EXCAVATION, HYDRO-VACUUM EXCAVATION, OR PNEUMATIC EXCAVATION.

CONTRACTOR SHALL REMOVE VEGETATION AS SHOWN IN THE PLANS. CONTRACTOR SHALL HAUL AND DISPOSE OF ALL MATERIALS/VEGETATION TO BE REMOVED. STUMP AND ROOTS SHALL BE REMOVED WHEN A TREE IS TO BE REMOVED.

ROOTS WILL BE ENCOUNTERED DURING THE INSTALLATION OF THE PROPOSED IMPROVEMENTS. ROOTS ENCOUNTERED DURING THIS PROCESS SHALL BE TREATED BY THE CONTRACTOR AS FOLLOWS:

ROOTS SHALL BE SEVERED BY CUTTING DOWN AND AWAY FROM THE TREE TRUNK. THE PURPOSE IS TO MINIMIZE MOVEMENT AND DISTURBANCE TO THE REMAINING ROOT SYSTEM BETWEEN THE TREE AND THE POINT OF CUTTING. THE OWNER OR OWNER REPRESENTATIVE SHALL DETERMINE WHETHER, DUE TO THIS ADDITIONAL ROOT CUTTING, ANY ADDITIONAL TREE TOP PRUNING OR TREE MECHANICAL BRACING OR CABLING IS NECESSARY. IF DEEMED NECESSARY, THE TOP PRUNING/MECHANICAL BRACING SHALL BE DONE BY OWNER PRIOR TO ROOT CUTTING. ALL TREES UNDERGOING ROOT SEVERING SHALL BE FED USING STANDARD HORTICULTURE PRACTICES AND USING 6-10-8 TREE FERTILIZER AS PER SECTION 8-02.3(8).

KCHA PROPERTY MANAGER WILL PROVIDE TREE PRUNING AS NECESSARY.

TESC

DUST CONTROL

THE CONTRACTOR SHALL CONDUCT WORK AND TAKE PREVENTATIVE MEASURES SUCH THAT DUST OR OTHER PARTICULATE MATTER IN THE PROJECT AREA SHALL NOT BECOME OBJECTIONABLE TO THE OWNER AND THAT THE CONSTRUCTION SITE MEETS THE REQUIREMENTS OF REGULATIONS 1 AND 2 OF THE PUGET SOUND AIR POLLUTION CONTROL AUTHORITY.

THE CONTRACTOR SHALL KEEP ALL DISTURBED AREAS AND EXCAVATED MATERIAL MOIST AS NECESSARY TO REDUCE DUST EMISSIONS.

SHOULD THE OWNER DETERMINE THAT THE CONTRACTOR IS NOT FULFILLING ITS OBLIGATION IN THIS REGARD, THE OWNER RESERVES THE RIGHT TO TAKE SUCH ACTION AS MAY BE NECESSARY AND TO CHARGE THE CONTRACTOR WITH ANY COST THAT MAY BE INCURRED IN SUCH REMEDIAL ACTION.

CLEARING, GRADING, AND TESC GENERAL NOTES

ANY DISCHARGE OF SEDIMENT-LADEN RUN-OFF OR OTHER POLLUTANTS TO WATERS OF THE STATE IS IN VIOLATION OF CHAPTER 90.48, WATER POLLUTION CONTROL, AND WAC 173-201A, WATER QUALITY STANDARDS FOR SURFACE WATERS OF THE STATE OF WASHINGTON, AND IS SUBJECT TO ENFORCEMENT ACTION.

PROPER EROSION AND SEDIMENT CONTROL PRACTICES MUST BE USED ON THE CONSTRUCTION SITE AND ADJACENT AREAS TO PREVENT UPLAND SEDIMENTS FROM ENTERING THE NATURAL STORM WATER DRAINAGE SYSTEM. ALL SURFACE AREAS DISTURBED AND ANY EMBANKMENTS OR EXCAVATIONS CREATED BY CONSTRUCTION ACTIVITIES MUST BE REVEGETATED OR PROVIDED AN EQUIVALENT TYPE OF PROTECTION AGAINST EROSION.

DURING CONSTRUCTION, ALL RELEASES OF OILS, HYDRAULIC FLUIDS, FUELS, OTHER PETROLEUM PRODUCTS, PAINTS, SOLVENTS, AND OTHER DELETERIOUS MATERIALS MUST BE CONTAINED AND REMOVED IN A MANNER THAT WILL PREVENT THEIR DISCHARGE TO WATERS AND SOILS. THE CLEANUP OF SPILLS SHALL TAKE PRECEDENCE OVER OTHER WORK ON THE SITE.

EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.

FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM 2% SLOPE, PER THE INTERNATIONAL BUILDING CODE WHERE APPLICABLE.

FILTER FABRIC FENCE NOTES

BEFORE COMMENCEMENT OF TRENCHING, THE CONTRACTOR SHALL PROVIDE FILTER FABRIC FOR ALL DOWNHILL STORM DRAIN INLETS AND CATCH BASINS, THAT WILL RECEIVE RUNOFF FROM THE PROJECT SITE. THE CONTRACTOR SHALL PERIODICALLY INSPECT THE CONDITION OF ALL FILTER FABRIC AND REPLACE AS NECESSARY.

THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST.

THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS (WHERE FEASIBLE). THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 30 INCHES).

A TRENCH SHALL BE EXCAVATED, ROUGHLY 8 INCHES WIDE AND 12 INCHES DEEP, UPSLOPE AND ADJACENT TO THE WOOD POST TO ALLOW THE FILTER FABRIC TO BE BURIED.

WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 4 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

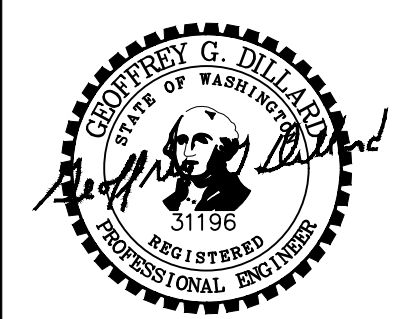
THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 20 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STABLED TO EXISTING TREES.

THE TRENCH FOR THE FILTER FABRIC FENCE SHALL BE BACKFILLED WITH 3/4-INCH MINIMUM DIAMETER WASHED GRAVEL.

WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF STANDARD NOTE (5) APPLYING.

FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

FILTER FABRIC FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.



SIGNED: 06/19/2023



SIGNED: 06/19/2023

KING COUNTY HOUSING AUTHORITY JUANITA COURT IMPROVEMENTS

GENERAL NOTES



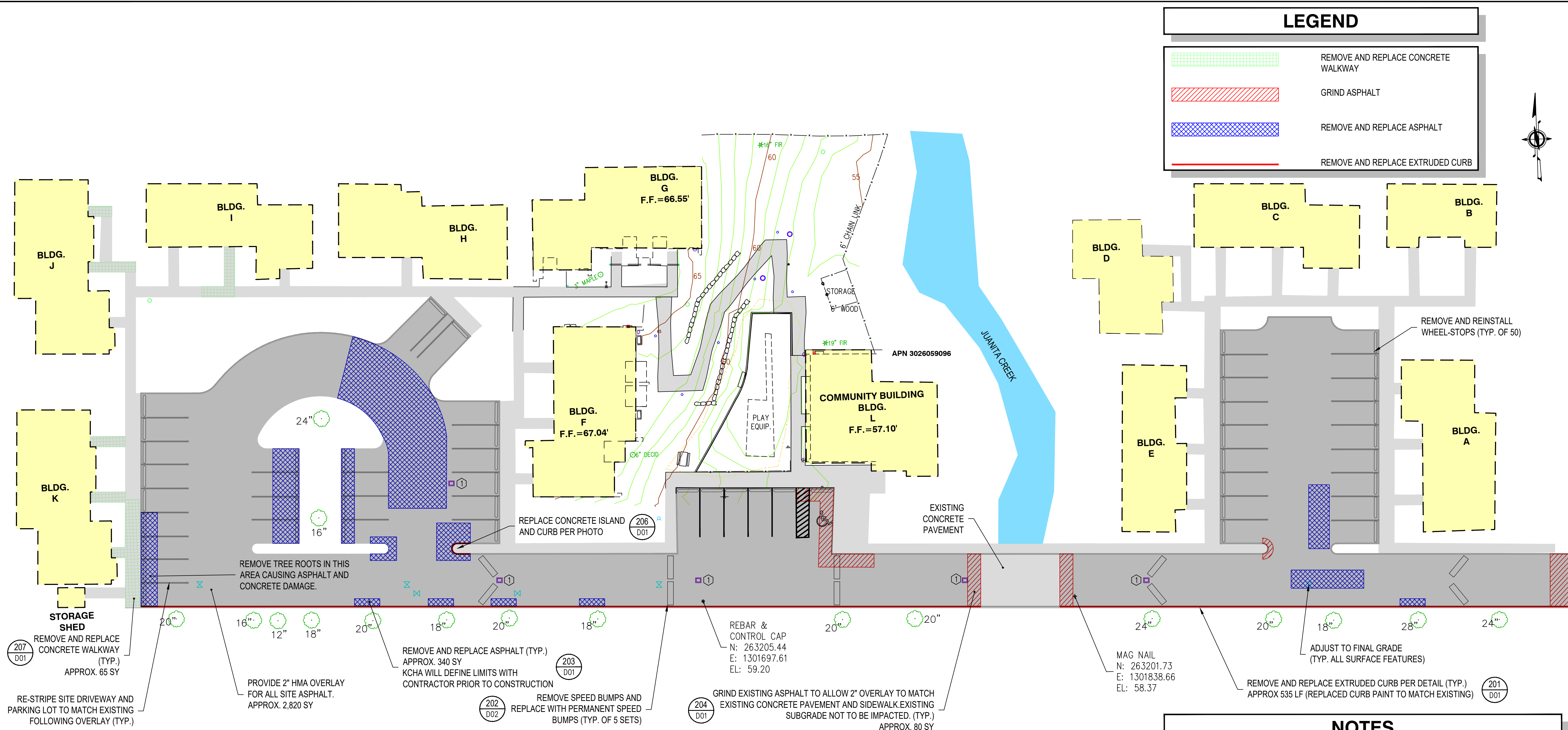
NO.	DATE	DESCRIPTION	BY	REVIEW

SCALE: SHOWN

DRAWING IS FULL SCALE WHEN BAR MEASURES 2'

DWG NO.: G01 SHEET NO.: 02 OF 04

ENGINEER: PLJ	SWENENE: Jun 1, 2023	CLIENT: KCH	JOB NO.: 21-0221
REVIEWED: DAM	PL07 DATE: Jun 19, 2023	FILENAME: UCT-D-G01.DWG	



LEGEND

	REMOVE AND REPLACE CONCRETE WALKWAY
	GRIND ASPHALT
	REMOVE AND REPLACE ASPHALT
	REMOVE AND REPLACE EXTRUDED CURB



DEMOLITION NOTES

EXISTING BUILDINGS AND OTHER SITE FEATURES SHALL BE PROTECTED DURING CONSTRUCTION

ASPHALT, CONCRETE AND CURB REMOVAL:

THE CONTRACTOR SHALL GRIND AND OVERLAY ASPHALT TO THE EXTENTS SHOWN. THE CONTRACTOR AND OWNER SHALL CONFIRM ON-SITE THE FINAL EXTENTS OF ASPHALT GRINDING PRIOR TO CONSTRUCTION. THE OWNER MAY ADD OR REMOVE ASPHALT TO BE GROUND BASED ON THE CONDITIONS FOUND ON-SITE AT THE TIME OF CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE A UNIT PRICE FOR ASPHALT GRINDING AND OVERLAY PER SQUARE YARD (SY) WITH THE PROJECT BID. ANY ASPHALT GRINDING ADDED OR REMOVED BY THE OWNER SHALL BE PAID ACCORDING TO THE UNIT PRICE GIVEN. ANY ASPHALT DAMAGED DURING CONSTRUCTION THAT IS NOT DESIGNATED TO BE GROUND SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.

THE CONTRACTOR SHALL REMOVE CONCRETE WALKWAY TO THE EXTENTS SHOWN. THE CONTRACTOR AND OWNER SHALL CONFIRM ON-SITE THE FINAL EXTENTS OF CONCRETE WALKWAY REMOVAL PRIOR TO CONSTRUCTION. THE OWNER MAY ADD OR REMOVE CONCRETE WALKWAY TO BE REMOVED BASED ON THE CONDITIONS FOUND ON-SITE AT THE TIME OF CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE A UNIT PRICE FOR CONCRETE WALKWAY REMOVAL AND REMOVAL/REPLACEMENT PER SQUARE YARD (SY) WITH THE PROJECT BID. ANY CONCRETE WALKWAY ADDED OR REMOVED BY THE OWNER SHALL BE PAID ACCORDING TO THE UNIT PRICE GIVEN. ANY CONCRETE WALKWAY DAMAGED DURING CONSTRUCTION THAT IS NOT DESIGNATED TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.

THE CONTRACTOR SHALL REMOVE CURB TO THE EXTENTS SHOWN. THE CONTRACTOR AND OWNER SHALL CONFIRM ON-SITE THE FINAL EXTENTS OF CURB REMOVAL PRIOR TO CONSTRUCTION. THE OWNER MAY ADD OR REMOVE CURB TO BE REMOVED BASED ON THE CONDITIONS FOUND ON-SITE AT THE TIME OF CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE A UNIT PRICE FOR CURB REMOVAL AND REMOVAL/REPLACEMENT PER LINEAR FOOT (LF) WITH THE PROJECT BID. ANY CURB REMOVAL ADDED OR REMOVED BY THE OWNER SHALL PAID BE ACCORDING TO THE LF UNIT PRICE GIVEN. ANY CURB DAMAGED DURING CONSTRUCTION THAT IS NOT DESIGNATED TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.

PROPOSED SITE PLAN

1" = 20'

TESC NOTES

TESC MEASURES INCLUDE CATCH BASIN INSERTS, DUST CONTROL, AND DAILY CLEANUP WHERE NECESSARY. SEE GENERAL INFORMATION SHEET (G01) FOR TESC NOTES.

EXPOSED AND UNWORKED SOILS SHALL BE STABILIZED BY EROSION CONTROL BMPS. SOILS SHALL NOT REMAIN EXPOSED AND UNWORKED FOR MORE THAN THE TIME PERIODS SET FORTH BELOW:

- DURING THE DRY SEASON (MAY 1 THROUGH SEPTEMBER 30): 7 DAYS
- DURING THE WET SEASON (OCTOBER 1 THROUGH APRIL 30): 2 DAYS

EXPOSED SOIL MUST BE COVERED IMMEDIATELY AT THE THREAT OF RAIN.

SOILS AND STOCKPILES SHALL BE STABILIZED AT THE END OF A SHIFT BEFORE A HOLIDAY OR WEEKEND.

THESE STABILIZATION REQUIREMENTS APPLY TO ALL SOILS ON SITE, WHETHER AT FINAL GRADE OR NOT.

PROVIDE CATCH BASIN INSERT FOR THE DURATION OF CONSTRUCTION. INSPECT CATCH BASIN INSERTS DAILY AND REMOVE SEDIMENT WHEN 1/2 FULL.

NOTES

ALL FLOWLINES ACROSS IMPERVIOUS SURFACES SHALL MATCH EXISTING CONDITIONS.

PAVED AREAS WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAW CUT TO A NEAT AND VERTICAL EDGE AND TACKED WITH ASPHALT EMULSION TYPE CSS-1. THE NEW ASPHALT SHALL BE TAPERED TO MEET EXISTING AT A BUTT JOINT. THE JOINT SHALL BE SEALED WITH AR-4000W.

GENERAL PAVING NOTES

CONTRACTOR SHALL MATCH EXISTING DRAINAGE CONFIGURATION AND GRADE TOWARDS EXISTING CATCH BASINS.

CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING WATER PONDING ON THE HMA SURFACES DUE TO LOW POINTS IN THE FINAL PAVING.

CATCH BASINS SHALL BE THE ONLY LOW POINTS LOCATED IN THE FINAL PAVING.

CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS BEYOND THE SCOPE OF THE DRIVEWAY IMPROVEMENTS TO THEIR EXISTING CONDITION OR BETTER.

ALL CONCRETE CURB OR WALKWAY THAT IS NOT DESIGNATED FOR REPLACEMENT AND IS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.

CRACK REPAIRS:
 LONGITUDINAL CRACKS SHALL BE REPAIRED PER WSDOT SPECIFICATION 5-04.3(5)(C). PRIOR TO ASPHALT OVERLAY, REPAIRED CRACK AREAS SHALL RECEIVE FOG SEAL PER WSDOT SPECIFICATION 5-02.3(2)(C).

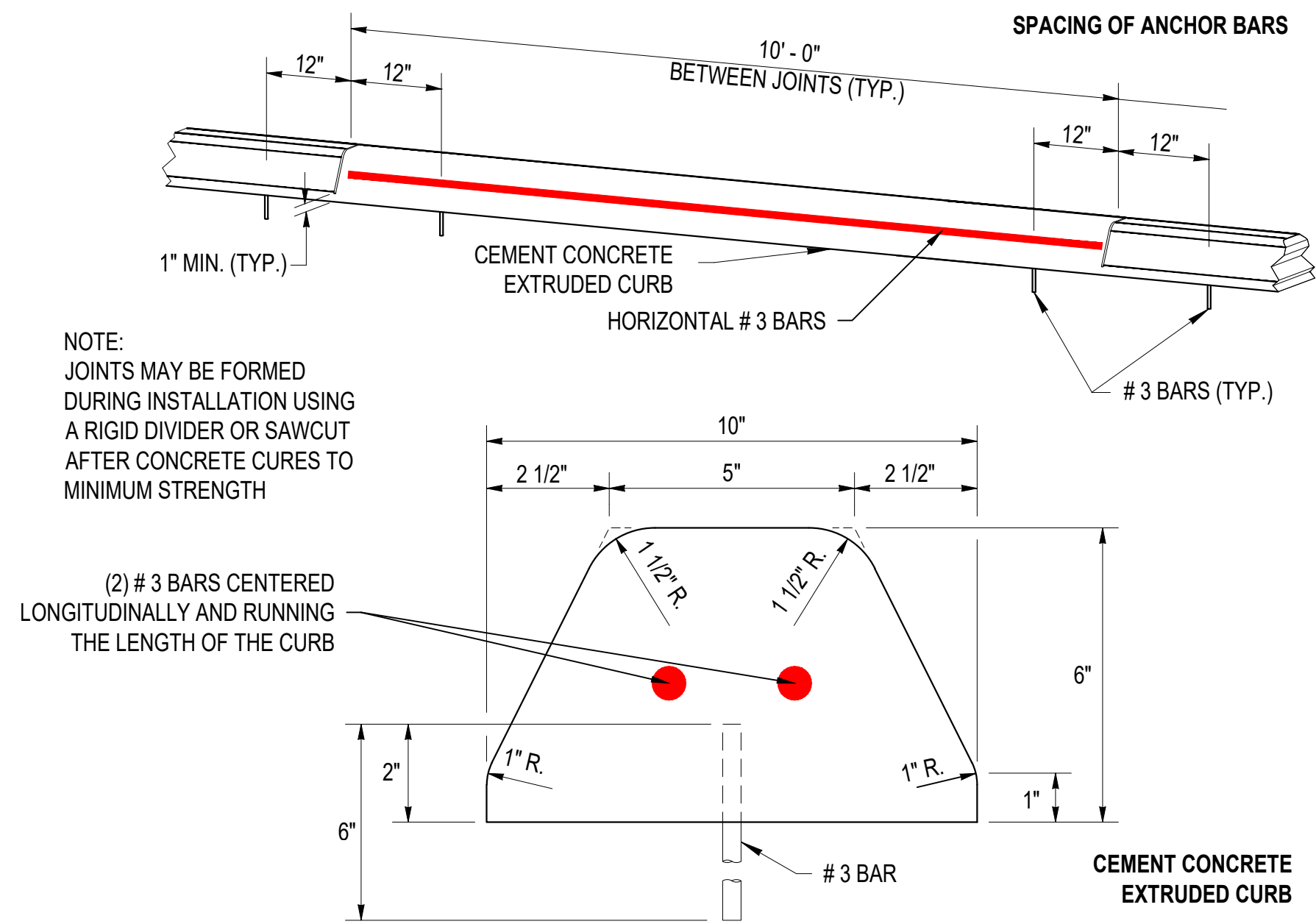
ASPHALT LEVELING:
 REMOVE AND REPLACE ADDITIONAL ASPHALT AS NECESSARY TO PROVIDE LEVEL FINISHED GRADE ASPHALT SURFACE. KCHA WILL DETERMINE EXTENTS WITH CONTRACTOR PRIOR TO CONSTRUCTION.

NO.	DATE	DESCRIPTION	BY	REVIEW

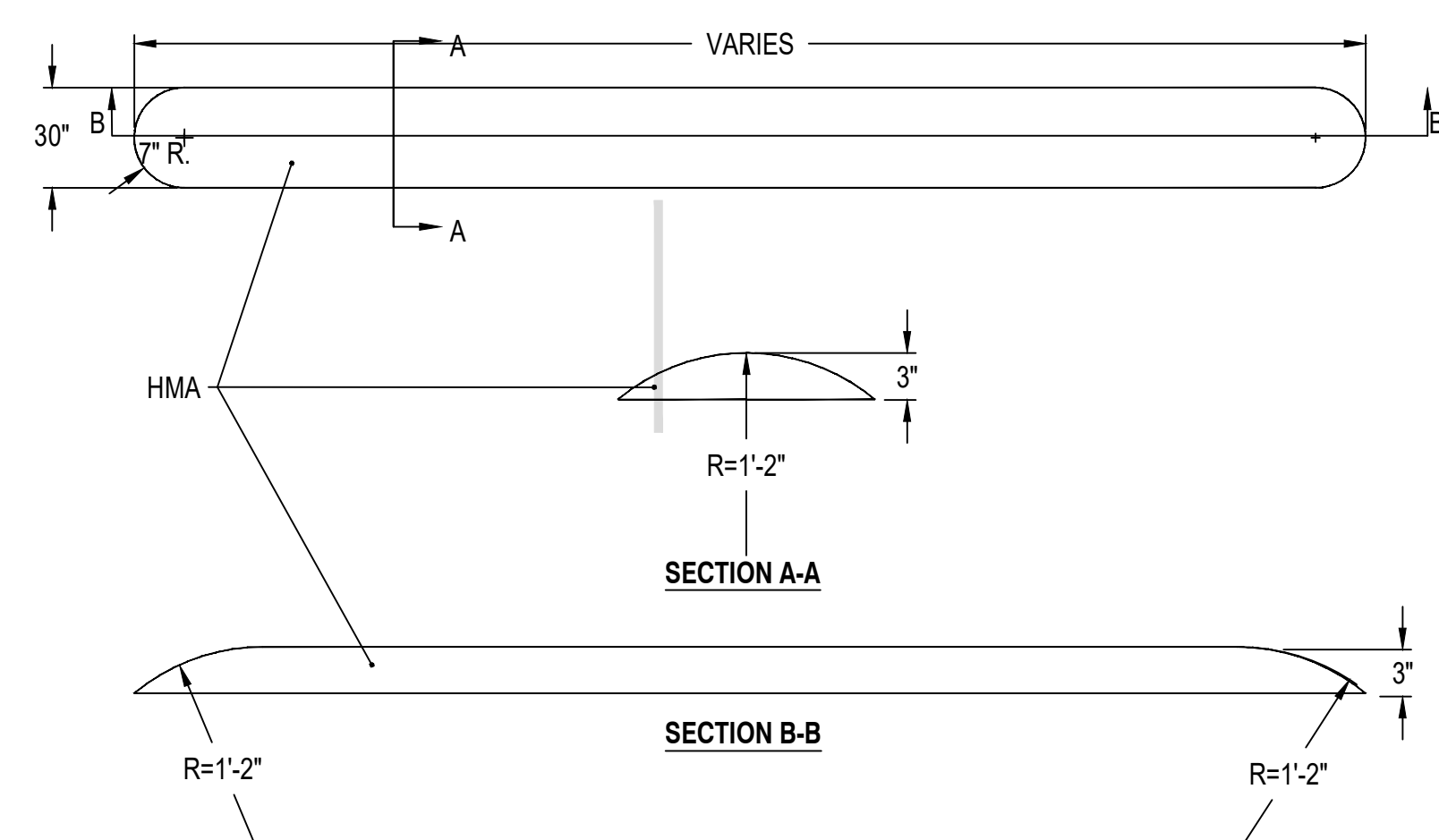
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DRAWING IS FULL SCALE WHEN BAR MEASURES 2"

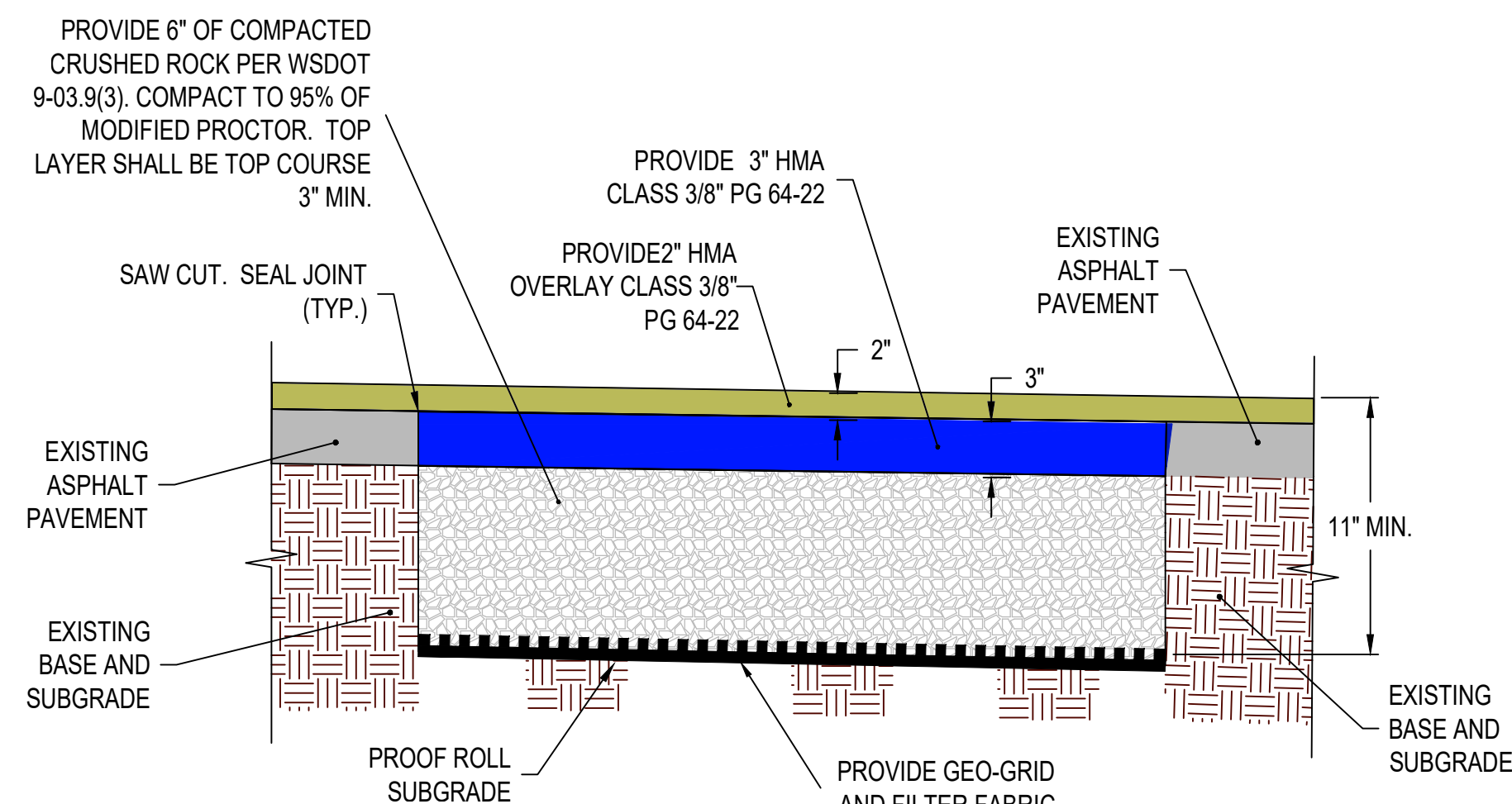
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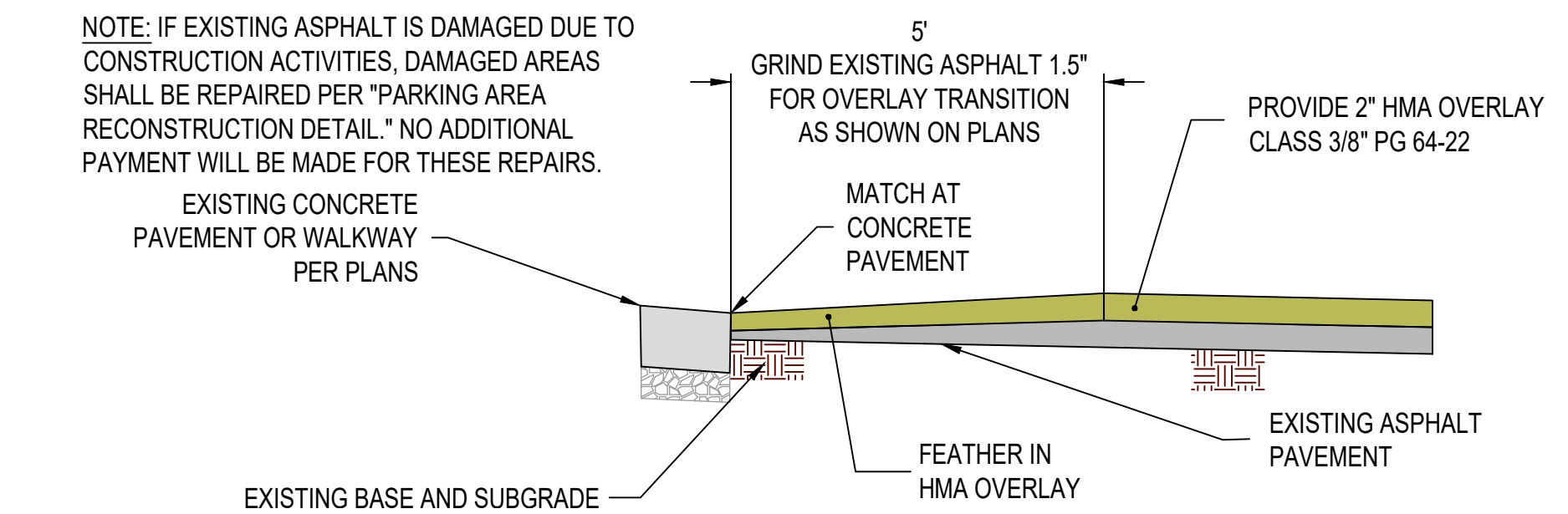
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EXTRUDED CURB
NOT TO SCALE



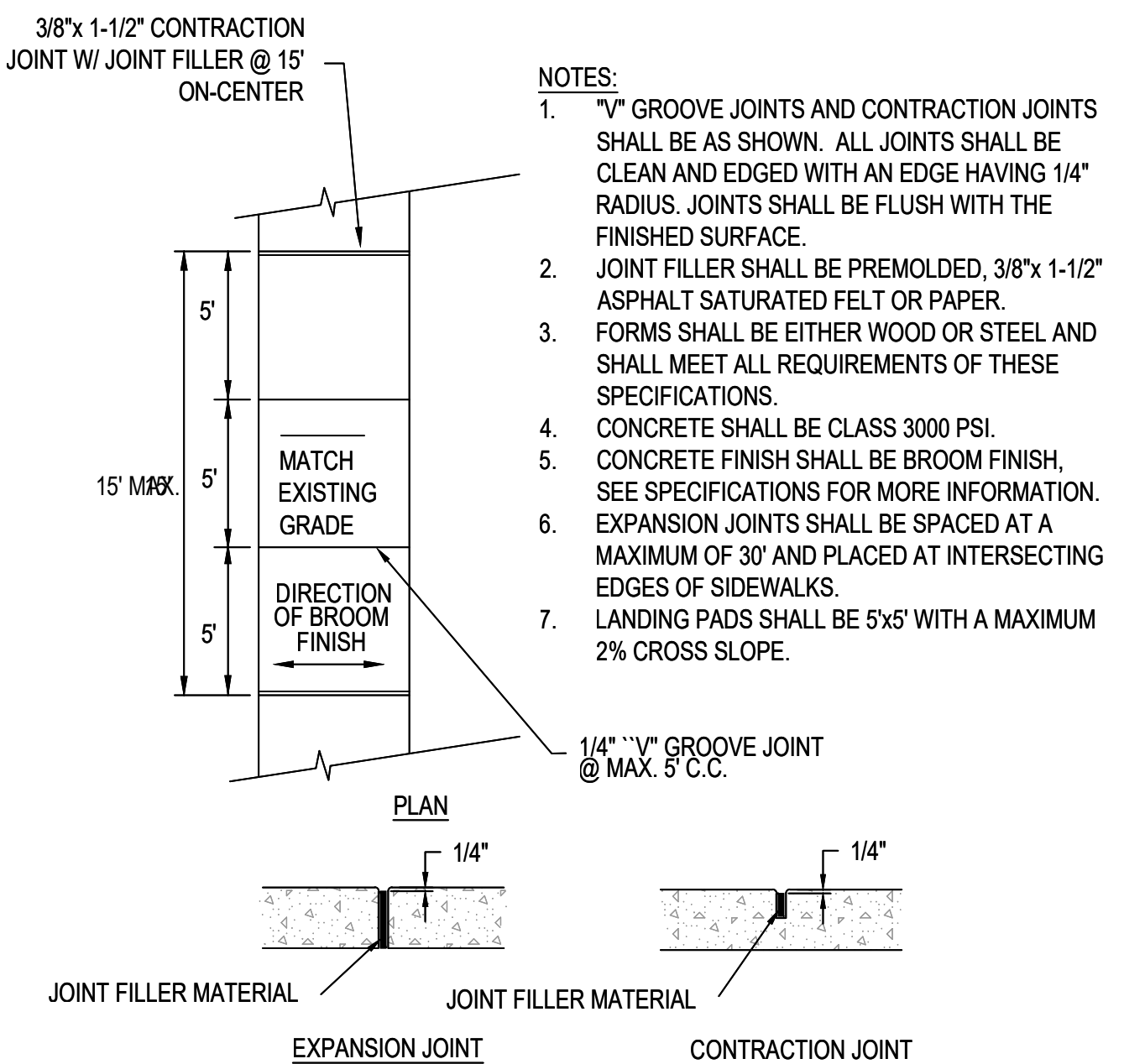
202 C01
SPEED BUMP
NOT TO SCALE



203 C01
NEW ASPHALT - SECTION VIEW
NOT TO SCALE



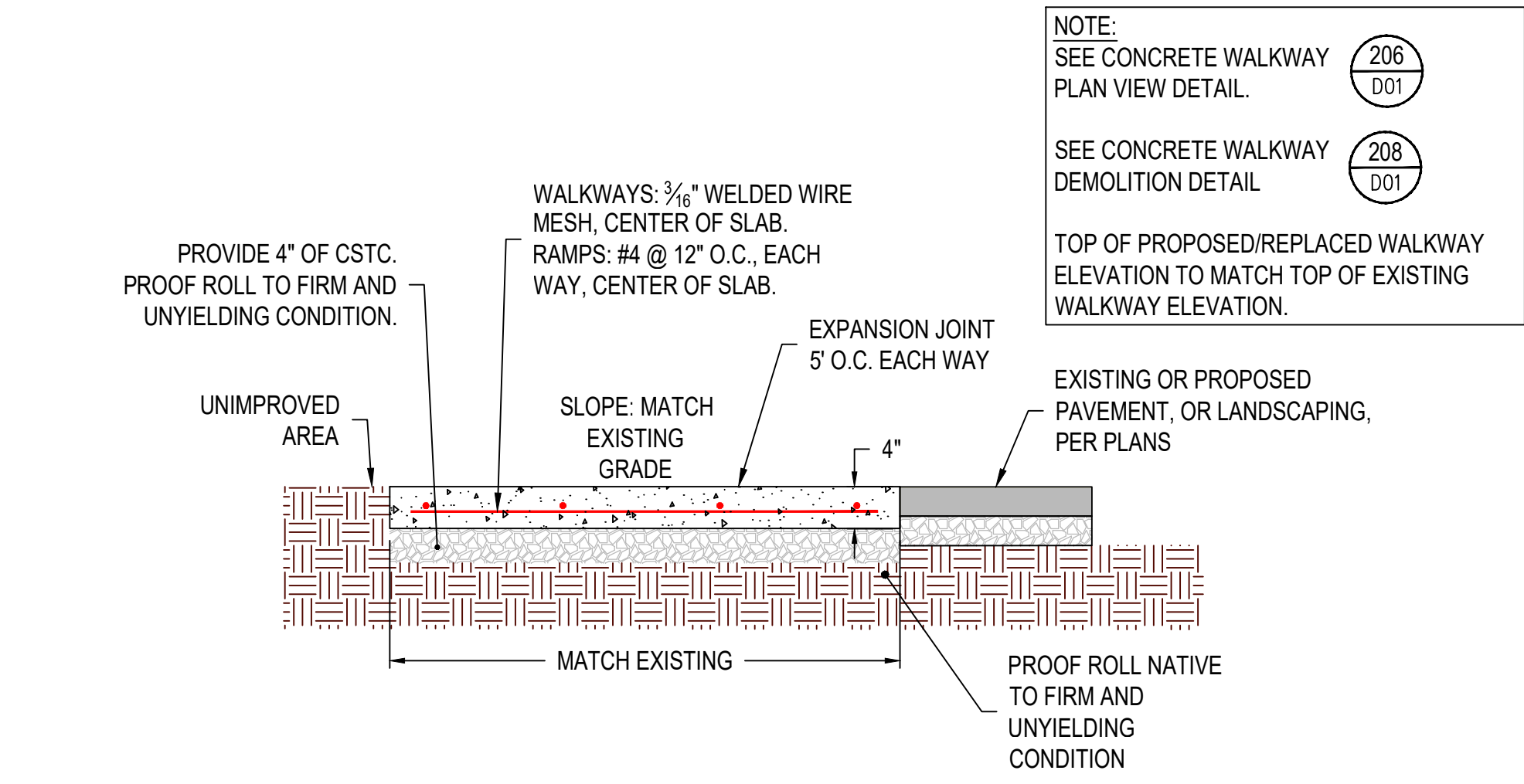
204 C01
ASPHALT GRIND AND OVERLAY
NOT TO SCALE



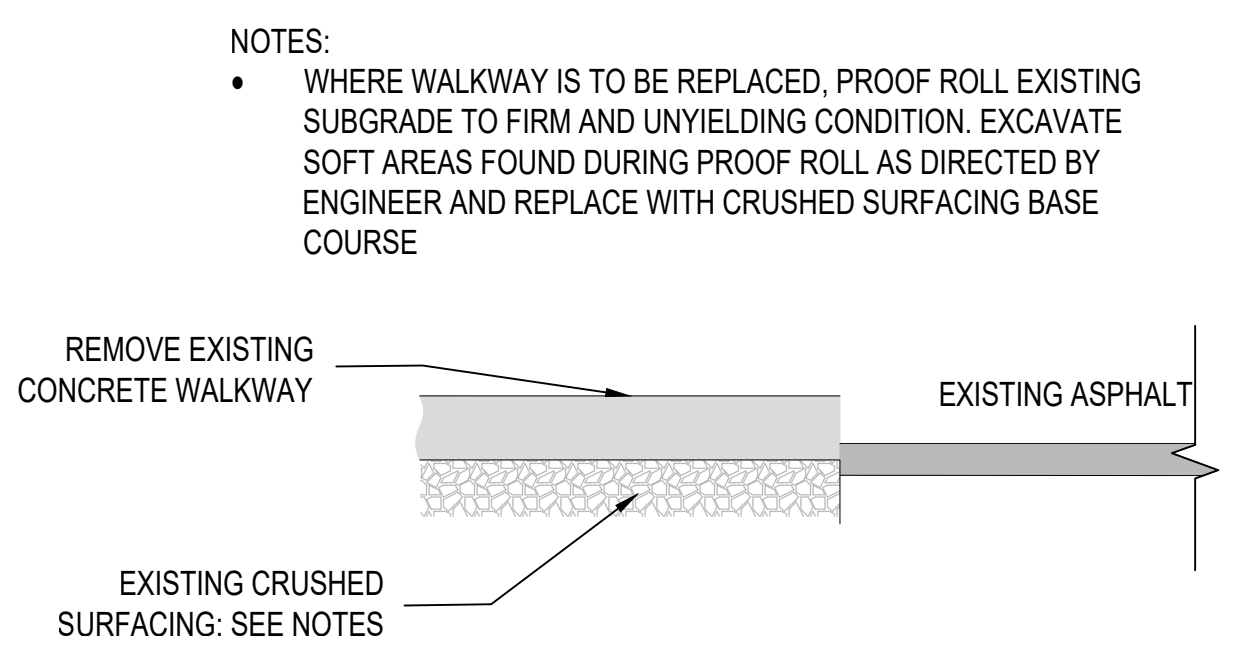
206 D01
CONCRETE WALKWAY PLAN VIEW
NOT TO SCALE



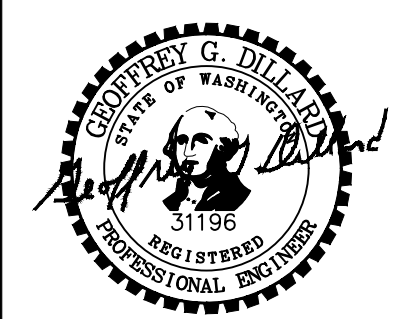
205 C01
CONCRETE ISLAND REPLACEMENT
NOT TO SCALE



207 C01
NEW CONCRETE WALKWAY
NOT TO SCALE



208 D01
CONCRETE WALKWAY DEMOLITION
NOT TO SCALE



SIGNED: 06/19/2023



SIGNED: 06/19/2023

KING COUNTY HOUSING AUTHORITY
JUANITA COURT IMPROVEMENTS
SITE DETAILS



NO.	DATE	DESCRIPTION	BY	REVIEW

JOB NO.: 21-0221
 CLIENT: KCH
 FILENAME: UCT-D-001.DWG
 SW: PJJ
 SW DATE: Jun 19, 2023
 REV: DJM
 REV DATE: Jun 19, 2023
 SCALE: SHOWN
 DRAWING IS FULL SCALE WHEN BAR MEASURES 2"
 DWG NO.: D01
 SHEET NO.: 04
 OF 04