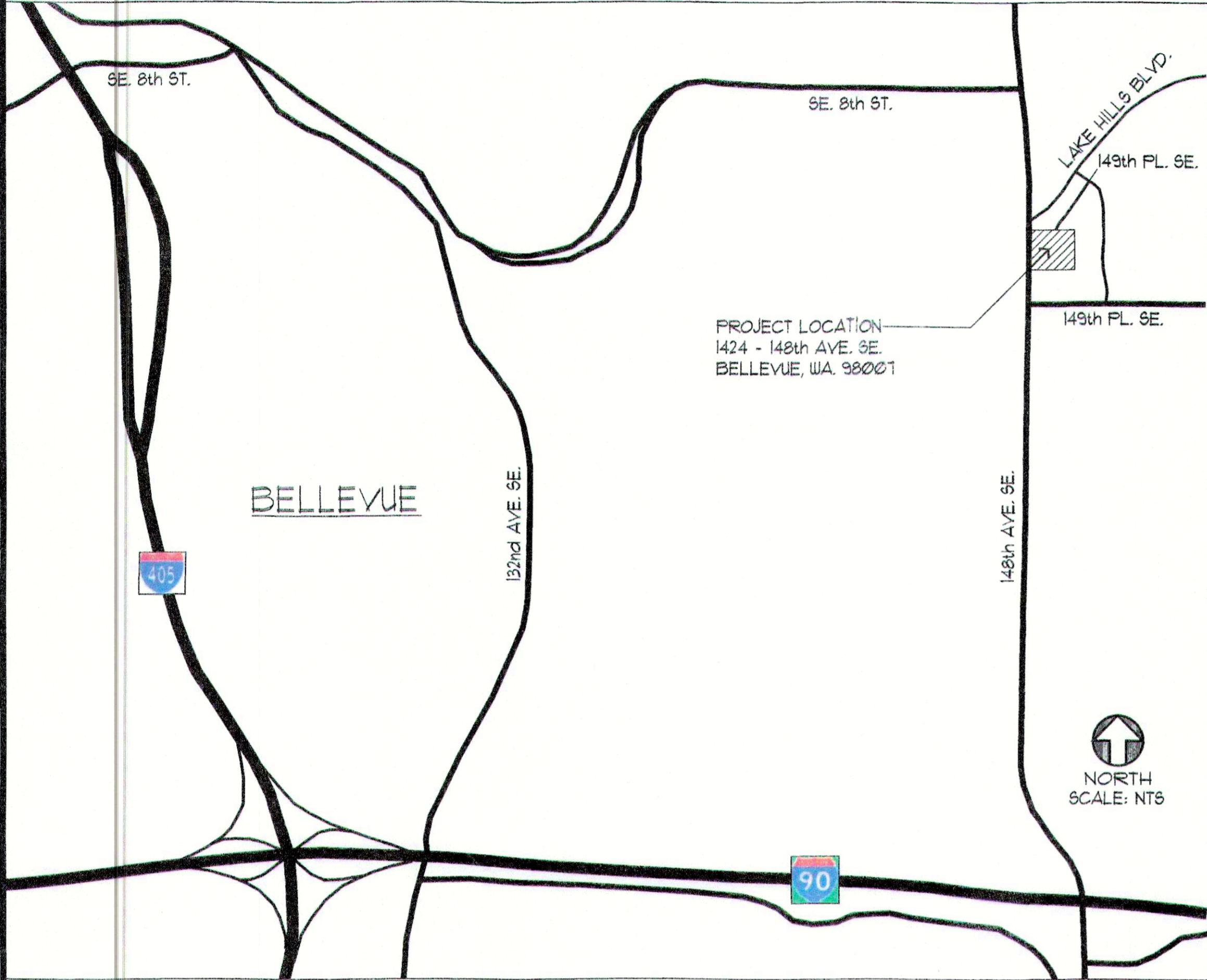


VICINITY MAP



DESIGN TEAM

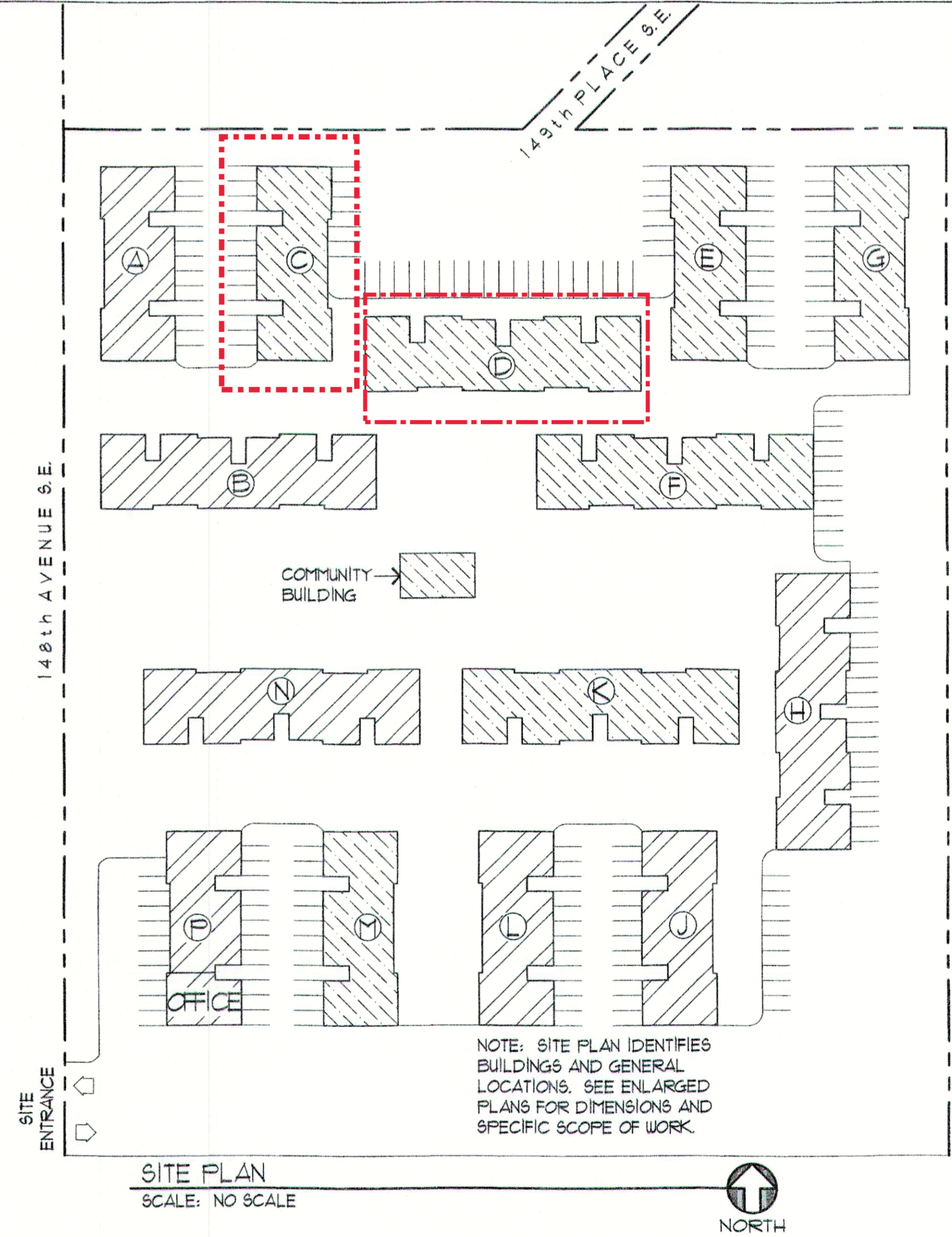
OWNER:
KING COUNTY HOUSING AUTHORITY
600 ANDOVER PARK W.
SEATTLE, WA. 98108-3326
TELEPHONE NO: (206) 514-1214

SHEET INDEX

- A-1 DESIGN TEAM, SHEET INDEX, VICINITY MAP, GENERAL NOTES, SITE PLAN
- A-2 TYPICAL ROOF PLANS
- A-3 TYPICAL ROOF PLANS
- A-4 DETAILS

**SPIRITWOOD MANOR
ROOF REPLACEMENT
BUILDINGS C&D**
**1424 - 148th AVENUE S.E.
BELLEVUE, WA. 98007**

SITE PLAN



ABBREVIATIONS

AB.	ANCHOR BOLT	F.E.C.	FIRE EXTINGUISHER & CABINET	%	PERCENT
ABBR	ABBREVIATED	FR'MG	FRAMING	±	PLUS OR MINUS
A/C	AIR CONDITIONING	FF.	FINISH FLOOR	PL	PLATE, PROPERTY LINE
ACST.	ACOUSTIC(AL)	FIN.	FINISH	P-LAM	PLASTIC LAMINATE
AFF.	ABOVE FINISH FLOOR	FLR.	FLOOR	P.S.F.	POUNDS PER SQUARE FOOT
AHU.	AIR HANDLING UNIT	FT.	FEET, FOOT	P.S.I.	POUNDS PER SQUARE INCH
AL.	ALUMINUM	FTG.	FOOTING	PLY.	PLYWOOD
APPROX.	APPROXIMATELY	GALV.	GALVANIZED	P.P.T.	PRESERVATIVE PRESSURE TREATED
AVG.	AVERAGE	GA.	GAUGE	P.V.C.	POLYVINYL CHLORIDE
BLD'G	BUILDING	G.F.C.I.	GOVT. FURNISHED CONTRACTOR INSTALLED	R	RADIUS
BLK'G	BLOCKING	G.F.G.I.	GOVT. FURNISHED GOVT. INSTALLED	REQ'D	REQUIRED
BM.	BEAM	G.W.B.	GYPSUM WALL BOARD	R/R	REMOVE & REPLACE
BOT.	BOTTOM	HDR.	HEADER	S	SOUTH
BRG.	BEARING	H.M.	HOLLOW METAL	SCHED.	SCHEDULE
C.B.	CATCH BASIN	HORIZ.	HORIZONTAL	SEC.	SECTION
C.J.	CONSTRUCTION JOINT	HT.	HEIGHT	SHT.	SHEET
CLG.	CEILING	INFO	INFORMATION	SIM.	SIMILAR
CLR.	CLEAR	INSUL.	INSULATION	SPEC.	SPECIFICATIONS
COL.	COLUMN	INT.	INTERIOR	SQ. #	SQUARE
CONC.	CONCRETE	MAINT.	MAINTENANCE	S.S.	STAINLESS STEEL
CONST.	CONSTRUCTION	MANUF. MFR	MANUFACTURER	ST.	STREET
CONT.	CONTINUOUS	MAT'L.	MATERIAL	STD.	STANDARD
DBL.	DOUBLE	MAX.	MAXIMUM	STL.	STEEL
DET.	DETAIL	MECH.	MECHANICAL	STRUCT.	STRUCTURE/STRUCTURAL
DIA.	DIAMETER	MIN.	MINIMUM, MINUTE	SUSP.	SUSPENDED
Φ	DIMENSION	MISC.	MISCELLANEOUS	TEMP.	TEMPORARY
DIM.	DOWN	MOD.	MODIFY, MODIFIED	T.P.O.	THERMOPLASTIC POLYOLEFIN
DN.	DOWN SPOUT	MTD.	MOUNTED (ING)	TYP.	TYPICAL
D.S.	DRAWING	MTL.	METAL	U.G.	UNDERGROUND
DWG.		N	NORTH	UNO.	UNLESS NOTED OTHERWISE
EA.	ELEVATION(S)	N/A	NOT APPLICABLE	VERT.	VERTICAL
EL.	ELECTRIC	N.I.C.	NOT IN CONTRACT	V.W.C.	VINYL WALL COVERING
ELEVS.	EMBEDDED	NO. #	NUMBER	W, w/	WITH
ELEC.	EMBODIMENT	N.T.S.	NOT TO SCALE	WD.	WOOD
EMBED	ENGINEER	o/	OVER	W.W.F.	WELDED WIRE FABRIC
ENGR.	EQUAL	O.C., o/c	ON CENTER		
EQ.	EXISTING	O.D.	OUTSIDE DIAMETER/DIMENSION		
EXIST.	EXPOSED	O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED		
EXP.	EXPANSION	O.F.O.I.	OWNER FURNISHED OWNER INSTALLED		
EXT.	EXTERIOR	O.H.	OVERHEAD		
		OPP.	OPPOSITE		

GENERAL NOTES

- ALL CONDITIONS AND DIMENSIONS SHOWN IN PLANS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY EXACT CONDITIONS AND DIMENSIONS AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- THE CONTRACTORS LAYDOWN AND/OR STAGING AREA SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AT THE TIME OF THE PRE-CONSTRUCTION MEETING.
- THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION RELATED DEBRIS FROM THE PREMISES DAILY AND MAINTAIN THE AREA IN A CLEAN CONDITION AT ALL TIMES.
- THE OWNER AND RESIDENTS WILL OCCUPY ALL PORTIONS OF THE SITE AT EACH BUILDING DURING CONSTRUCTION. ALL WORK SHALL BE PERFORMED DURING "NORMAL WORKING HOURS" - 8:00 a.m. TO 5:00 p.m. MONDAY THRU FRIDAY. IN THE EVENT AREAS CANNOT BE AVAILABLE FOR OWNER OR RESIDENT USE ON ANY GIVEN OCCASION, PROVIDE NOT LESS THAN 72 HOURS WRITTEN NOTICE TO THE OWNER'S REPRESENTATIVE.
- MAINTAIN ACCESS TO EXISTING DRIVEWAYS, PARKING AREAS, WALKWAYS, STAIRS, DECKS, ETC. AT ALL TIMES.
- HAZARDOUS MATERIAL TESTING HAS BEEN PERFORMED ON THE ROOF AREAS SCHEDULED FOR REPLACEMENT. NONE DETECTED
- AFTER EXISTING ROOFING MATERIALS HAVE BEEN REMOVED, INSPECT THE WOOD SUBSTRATE FOR MOISTURE DAMAGE (DRY ROT) AND REPORT ANY AREAS OF SUSPECTED MOISTURE DAMAGE TO THE OWNER'S REPRESENTATIVE. CONTRACTOR TO INCLUDE THE REMOVAL AND REPLACEMENT OF (10) SHEETS OF 4x8x5/8" CDX PER ROOF.
- THE CONTRACTOR SHALL NOT REMOVE ANY EXISTING ROOFING MATERIAL BEYOND THAT WHICH CAN BE REROOFED BY THE END OF THE WORKING DAY. ALL ROOFS MUST BE WEATHER-TIGHT AT THE END OF THE DAY. BUILDING/TAR PAPER ONLY SHALL NOT BE CONSIDERED "WEATHER-TIGHT"
- RECYCLE ALL REMOVED ROOFING MATERIALS IN COMPLIANCE WITH DEPT. OF ECOLOGY REQUIREMENTS.

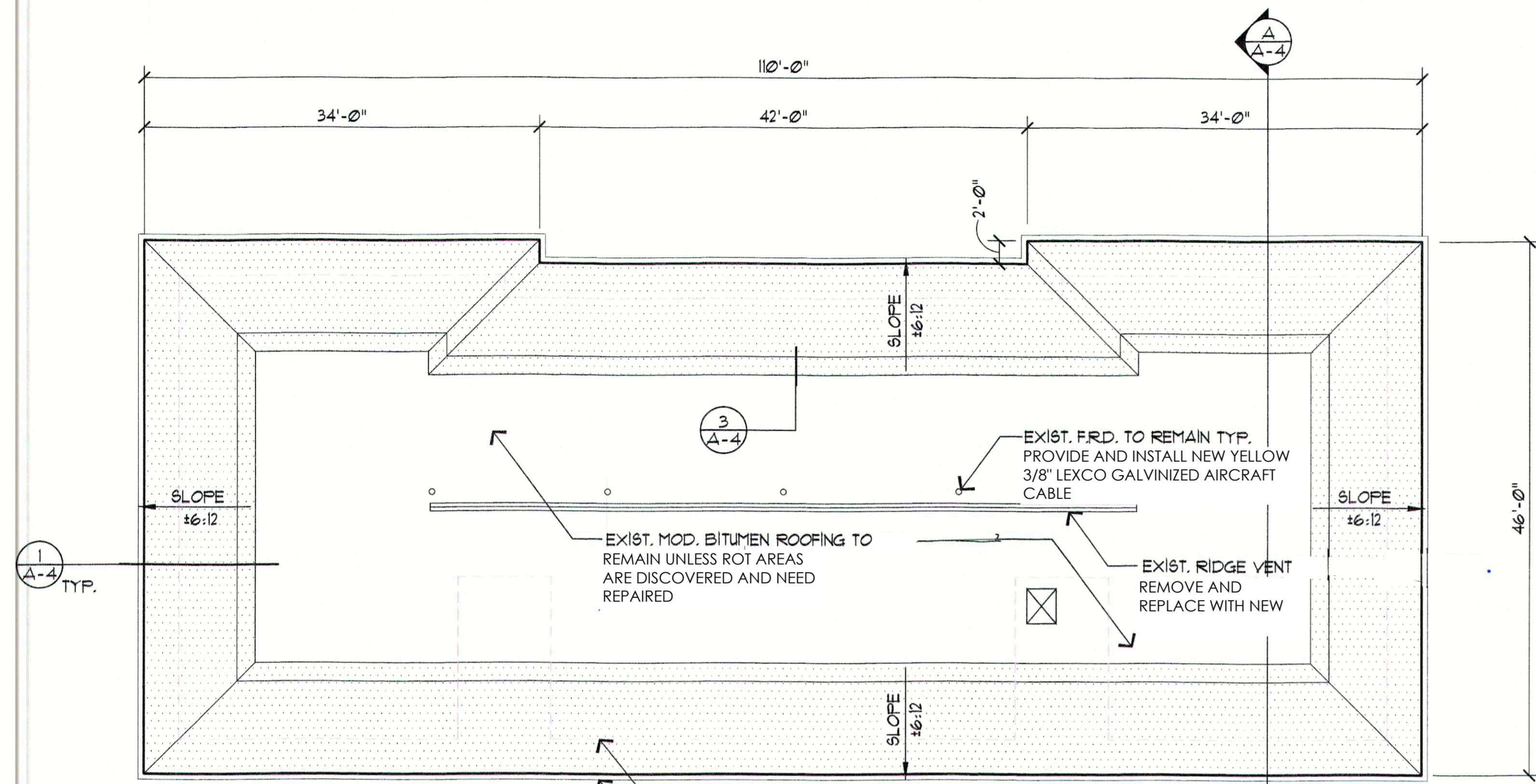
BUILDING ENCLOSURE DOCUMENTS

THE UNDERSIGNED HAS PROVIDED BUILDING ENCLOSURE DOCUMENTS THAT IN MY PROFESSIONAL JUDGMENT, ARE APPROPRIATE TO SATISFY THE REQUIREMENTS OF SECTIONS 1 THROUGH 10 OF EHS 1848

BY	DATE	REVISION

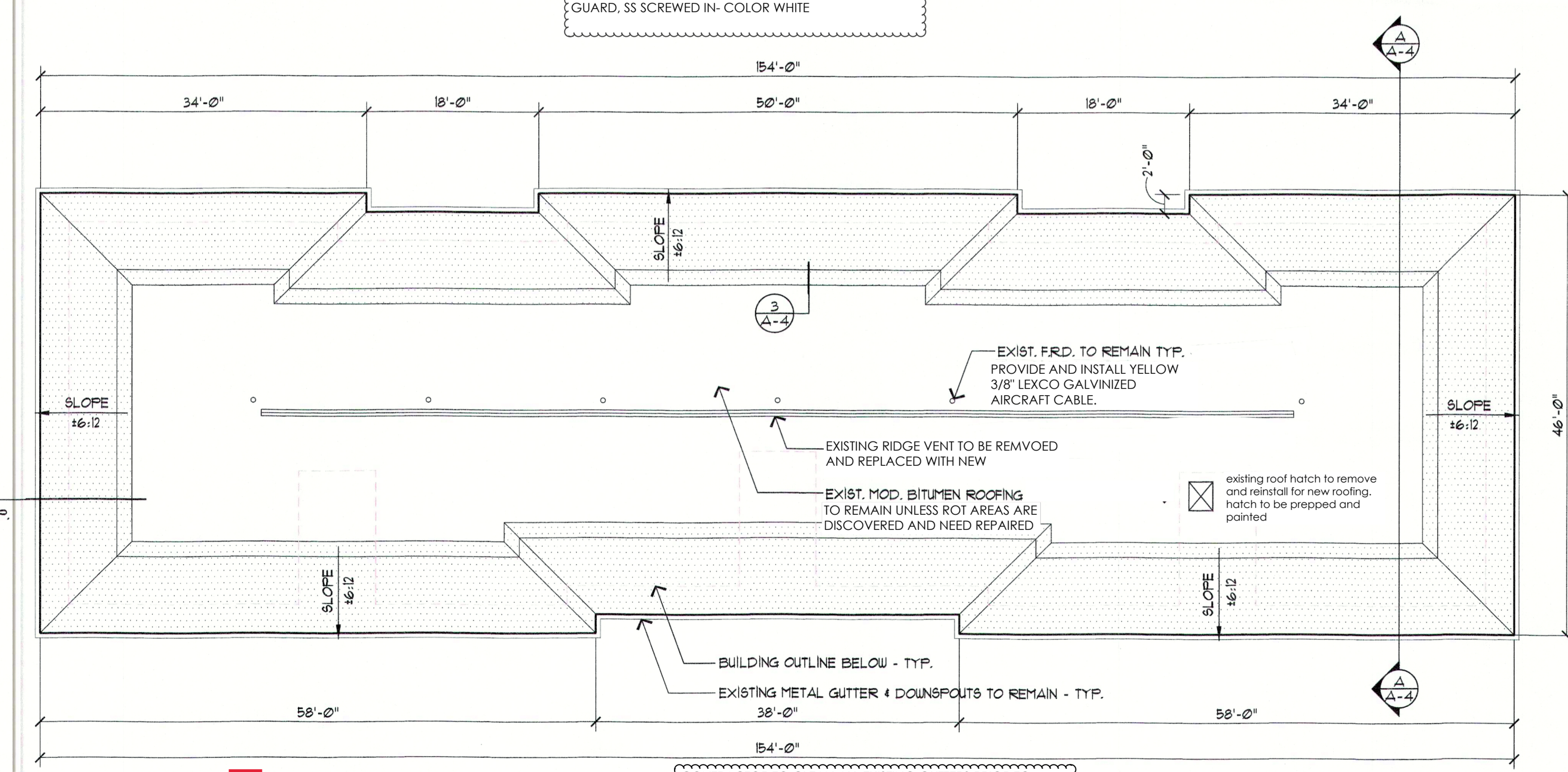
**SPIRITWOOD MANOR
ROOF REPLACEMENT
BUILDINGS C&D**
**1424 - 148th AVENUE SOUTHEAST
BELLEVUE, WASHINGTON 98007**

SHEET TITLE	
SHEET INDEX	VICINITY MAP
GENERAL NOTES	SITE PLAN
SCOPE OF WORK	
DATE	09.25.24
CNJA JOB NO.	
DRAWN	
CHECKED	
SHEET	A-1
SHEET 1 OF 4	



ROOF PLAN - BUILDINGS C-E-G-M
SCALE: 1/8" = 1'-0"

CONTRACTOR TO CLEAN ALL EXISTING GUTTERS PRIOR TO INSTALLATION OF NEW GUTTER DEBRIS PROTECTION- METAL LOUCK IN GUTTER GUARD, RAPTOR GUTTER GUARD, SS SCREWED IN- COLOR WHITE



ROOF PLAN - BUILDINGS D-F-K
SCALE: 1/8" = 1'-0"

CONTRACTOR TO CLEAN ALL EXISTING GUTTERS PRIOR TO INSTALLATION OF NEW GUTTER DEBRIS PROTECTION- METAL LOUCK IN GUTTER GUARD, RAPTOR GUTTER GUARD, SS SCREWED IN- COLOR WHITE

INSPECT WOOD SUBSTRATE FOR MOISTURE DAMAGE - SEE GENERAL NOTE 1, SHEET A-1.

ROOF PLAN LEGEND

- AREA OF WORK
- FALL RESTRAINT DEVICE
- EXISTING ROOF HATCH TO REMAIN CONTRACTOR TO PAINT AND PREP

NO.	DATE	REVISION	BY

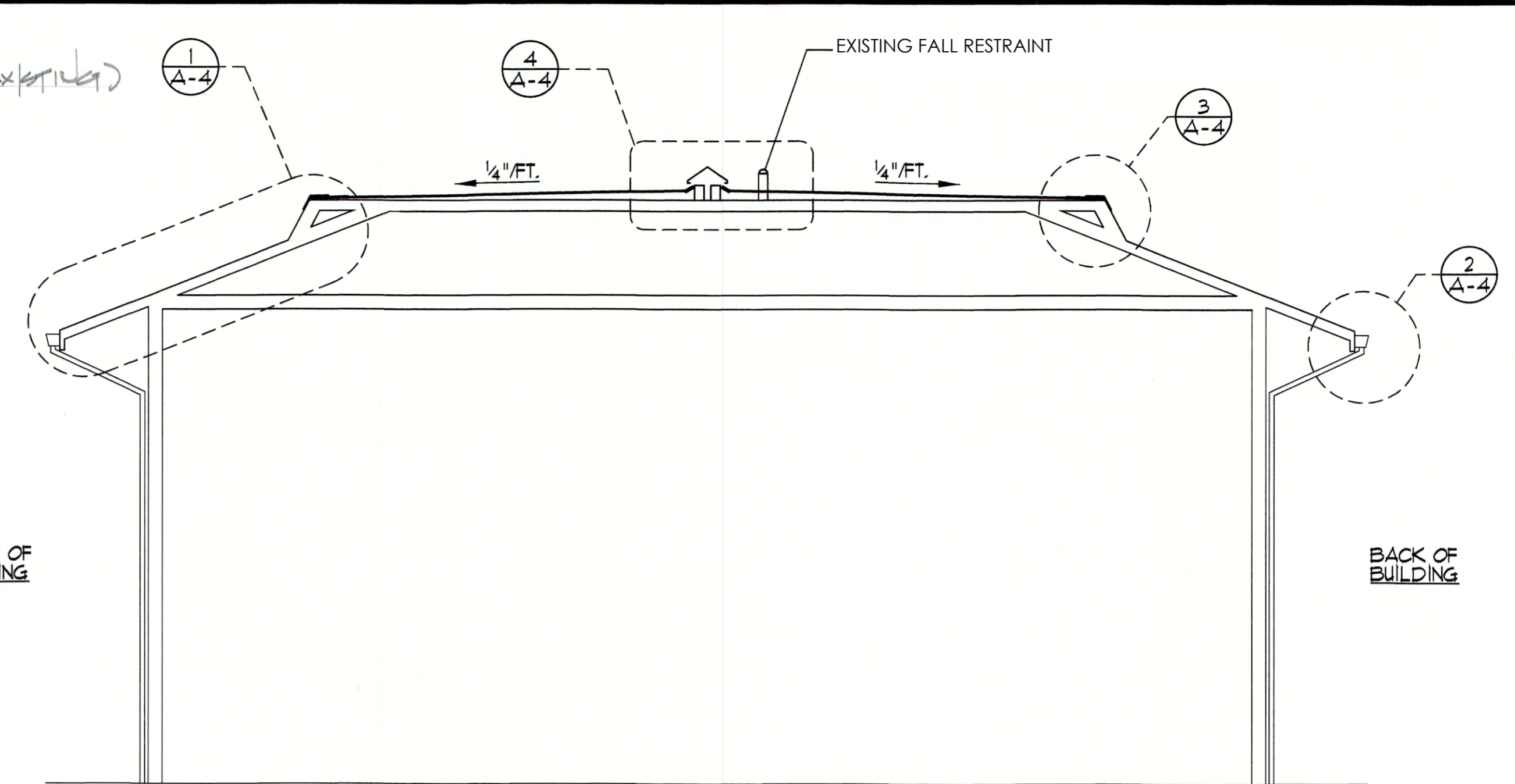
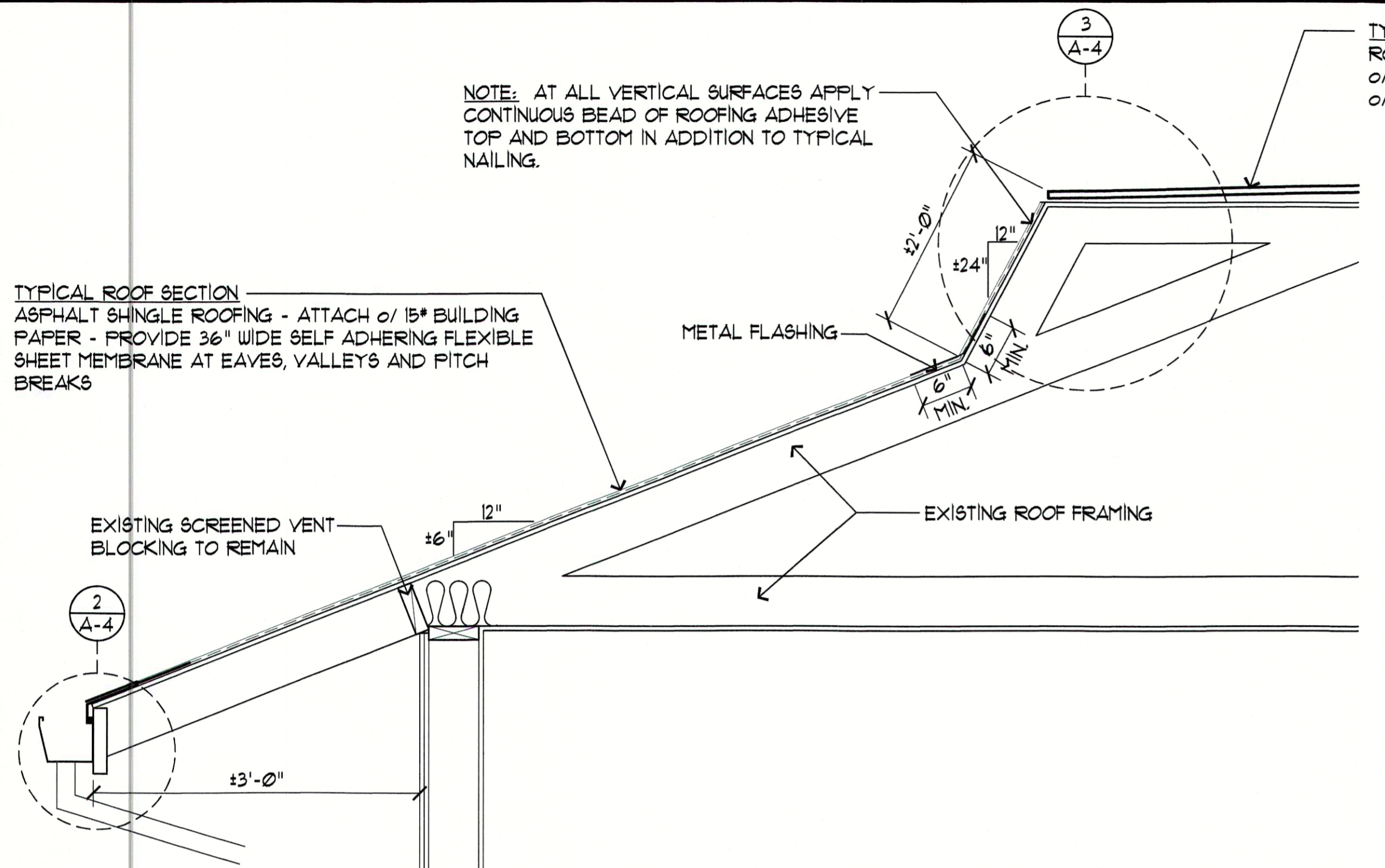
**SPIRITWOOD MANOR
ROOF REPLACEMENT
BUILDINGS C&D
1424 - 148th AVENUE SOUTHEAST
BELLEVUE, WASHINGTON 98007**

SHEET TITLE
ROOF PLANS

DATE 09.25.24
CNJA JOB NO.
DRAWN
CHECKED
SHEET

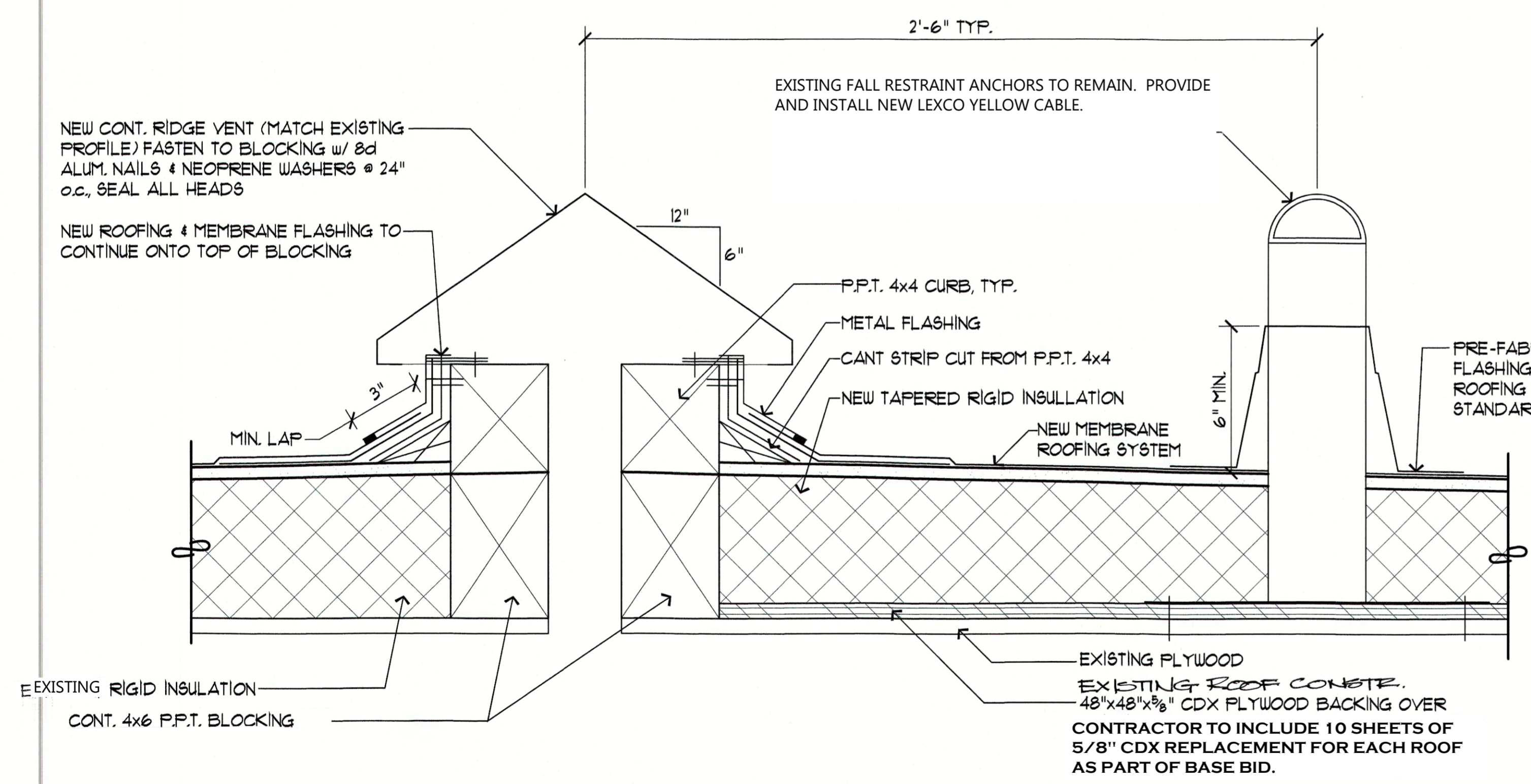
A-2

SHEET 2 OF 4

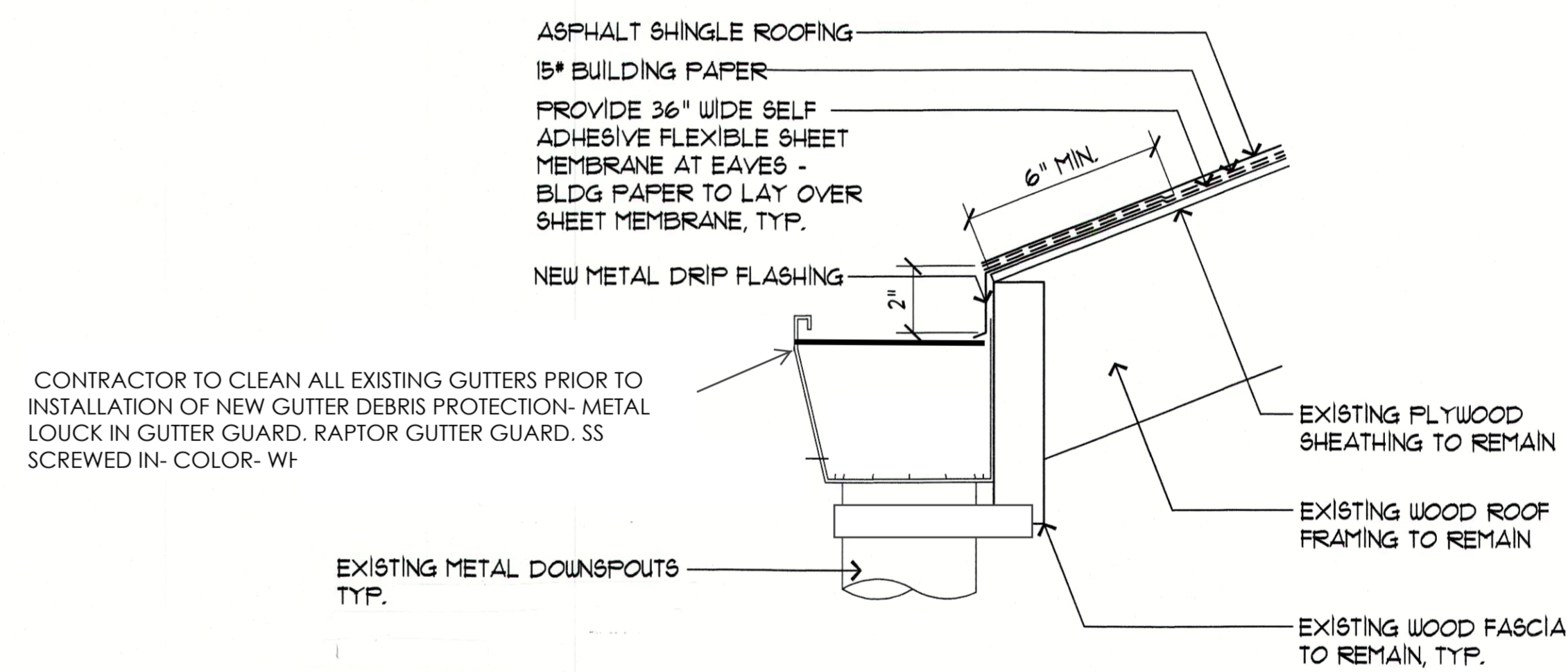


A-A TYPICAL BUILDING SECTION
SCALE: 1/4" = 1'-0"

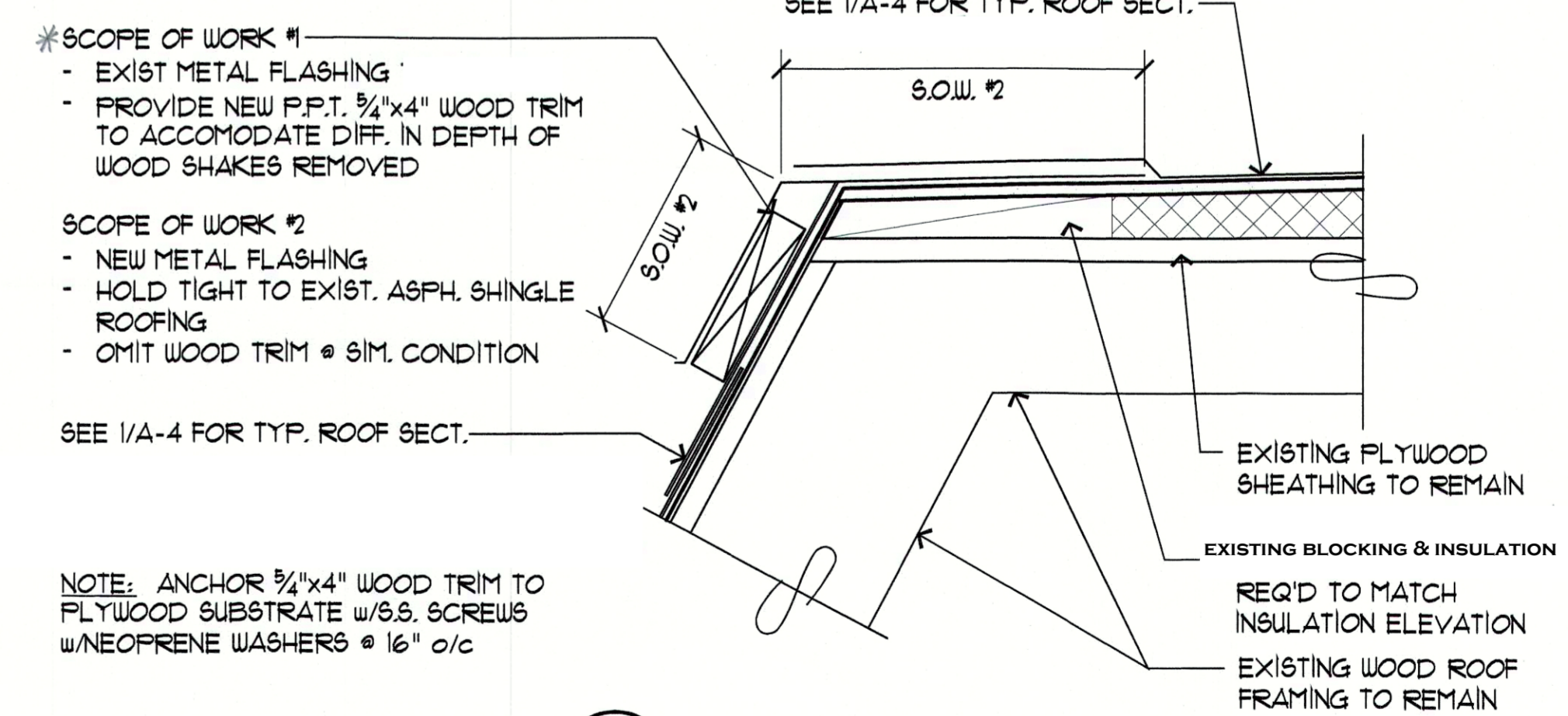
1 ENLARGED ROOF DETAIL/TYPICAL ROOF SECTIONS
SCALE: 1" = 1'-0"



4 CONTINUOUS RIDGE VENT DETAIL
SCALE: 3" = 1'-0"



2 TYPICAL EAVE DETAIL
SCALE: 3" = 1'-0"



3 ROOFING DETAIL
SCALE: 3" = 1'-0"

NO.	DATE	REVISION

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SHEET TITLE
ROOF DETAILS

DATE 09.25.24
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DRAIN
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SHEET

A-4